



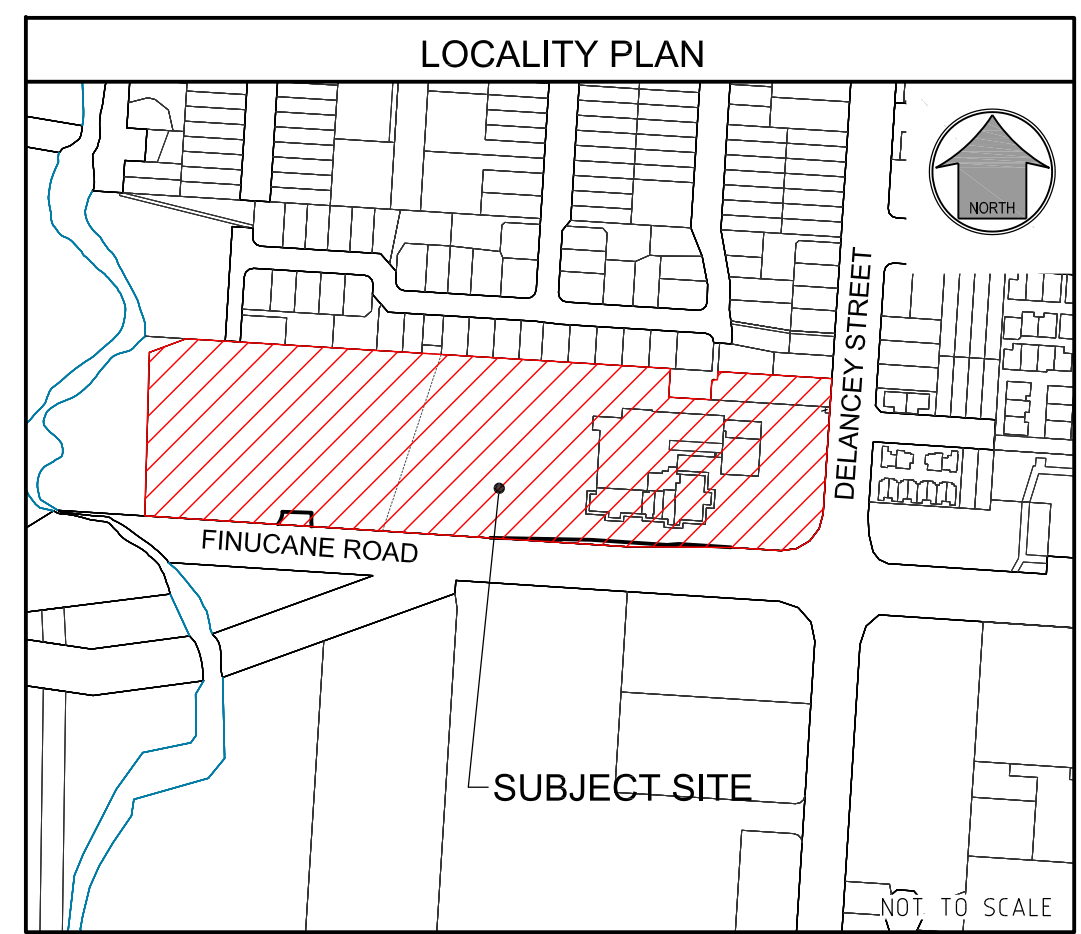
SITE WORKS PRELIMINARY OVERALL No. 37801-PS1

SCHEDULE OF DRAWINGS		
NUMBER	REV. NO.	TITLE
GENERAL		
37801-PS1-000	B	COVER SHEET
37801-PS1-005	B	ROAD HIERARCHY & STAGING PLAN
EARTHWORKS		
37801-PS1-050	B	EARTHWORKS SECTION KEY PLAN
37801-PS1-051	B	SECTIONS-SHEET 01
37801-PS1-052	B	SECTIONS-SHEET 02
COMBINED SERVICES		
37801-PS1-090	B	PLAN SHEET 01
ROADS: ROADWORKS		
37801-PS1-100	B	PLAN SHEET 01
37801-PS1-120	B	DETAILS SHEET 01
37801-PS1-121	B	DETAILS SHEET 02
ROADS: LONGITUDINAL SECTIONS		
37801-PS1-200	B	ROAD ACCESS
37801-PS1-201	B	ROAD ACCESS (Cont...)
37801-PS1-202	B	ROAD 02
SEWER: SEWER RETICULATION		
37801-PS1-500	B	PLAN SHEET 01
DRAINAGE: STORMWATER		
37801-PS1-600	B	PLAN SHEET 01
37801-PS1-610	B	PLAN SHEET 01
WATER: WATER RETICULATION		
37801-PS1-700	B	PLAN SHEET 01



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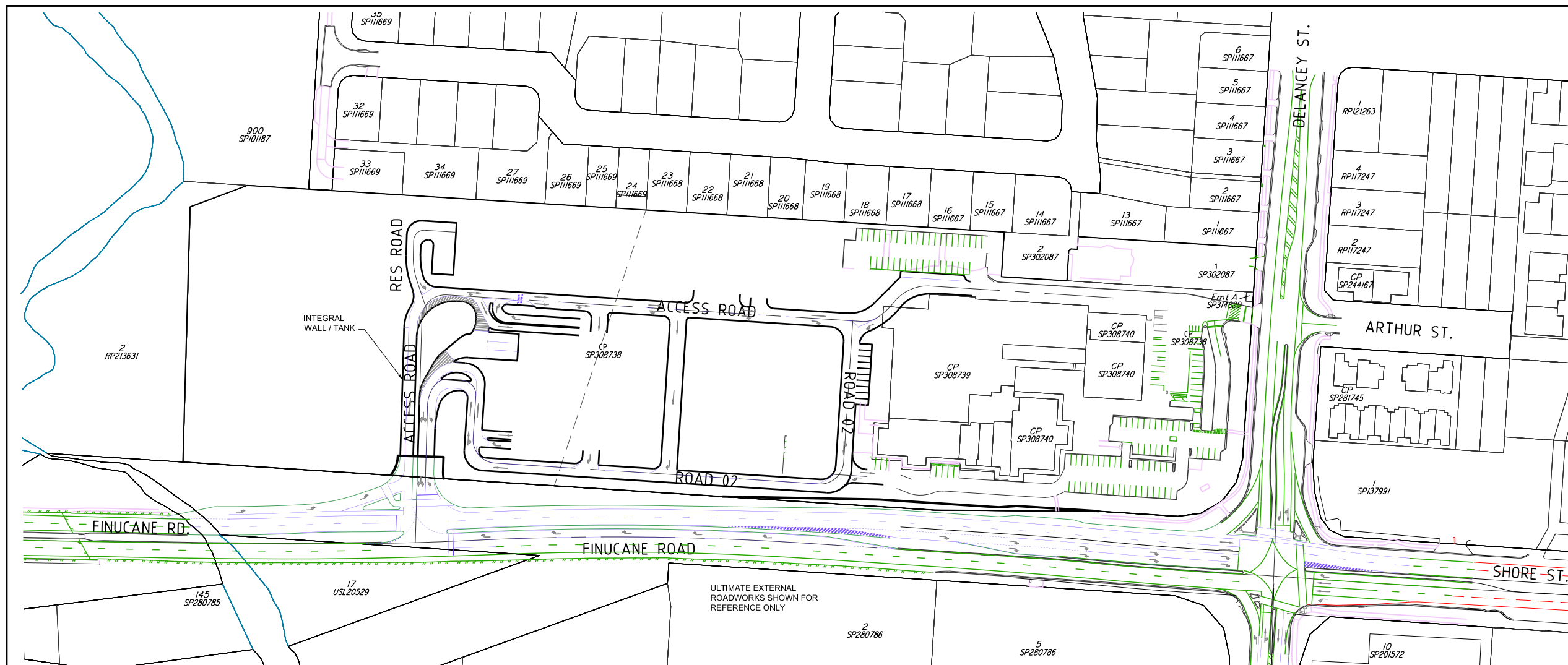
SUB-CONSULTANTS



R. P. DESCRIPTION
LOT 0 SP308738, LOTS 0-2 SP308739,
LOT 0 SP308740, LOT 4 SP308740,
LOTS 10-16 SP314782
58-68 DELANCEY STREET
LOCALITY OF ORMISTON

DRAWING NUMBER	AMEND.
37801-PS1-000	B

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GENERAL

1. **CONTRACT SPECIFICATIONS**
ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
2. **SETOUT**
SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
3. **DATUM**
LEVELS SHOWN ARE TO A.H.D.
4. **TRENCH SPOIL**
ALL MATERIALS ARISING FROM ROADS & SERVICES ARE TO BE COMPACTED TO FUTURE STAGES, TO LEVEL 1 IF NO SPOIL AREA IS AVAILABLE THESE MATERIALS SHALL BE TRUCKED TO A LICENSED TIP. THESE WORKS FORM PART OF THE CONTRACTED WORKS.
5. **CHECK ELECTRONIC SETOUT**
CONTRACTOR IS RESPONSIBLE TO ENSURE ANY ELECTRONIC DATA FILES MATCH THE DRAWINGS.
6. **PRE START**
 - a. ERECT SITE SIGNAGE, CONSTRUCT ENTRY & EXIT POINT AS INDICATED.
 - b. CONSTRUCT VEHICLE WASHDOWN AREA & ASSOCIATED SILT MANAGEMENT DEVICES.
 - c. CONSTRUCT SITE OFFICE & STORAGE COMPOUND AREA.
 - d. INSTALL EROSION & SEDIMENT CONTROL DEVICES AS PER THE CONTRACTOR'S EROSION & SEDIMENT CONTROL PLAN.
 - e. ERECT TEMPORARY TREE PROTECTION FENCING IN ACCORDANCE WITH THE APPROVED VEGETATION MANAGEMENT PLAN & AUTHORITIES APPROVAL CONDITIONS (IF REQUIRED).
7. **HEALTH & SAFETY**
ALL WORKS UNDERTAKEN BY THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE WORKPLACE HEALTH & SAFETY LEGISLATION.
8. **STOCKPILING**
STOCKPILING OF ANY SURPLUS MATERIAL IS NOT PERMITTED

PROJECT SPECIFIC REPORTS

THE CONTRACTOR MUST FOLLOW THE RECOMMENDATIONS & PROCEDURES OUTLINED IN THE FOLLOWING REPORTS AT ALL TIMES:

- a) GEOTECHNICAL INVESTIGATION REPORTS (INCLUDING ANY ACID SULPHATE OR DISPERSIVE SOIL REPORTING)
- b) VEGETATION & FAUNA MANAGEMENT PLANS
- c) OTHER MANAGEMENT PLANS NOMINATED IN THE CONTRACT, AUTHORITIES APPROVAL CONDITIONS OR BY THE SUPERINTENDENT.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- FUTURE PROPERTY LINE
- FUTURE KERB (INVERT)
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)

EXTENT OF ROAD WIDENING CONSTRUCTION & EXISTING PAVEMENT RECONSTRUCTION WORKS TO BE DETERMINED AS PART OF OPERATIONAL WORKS APPLICATION.

PRELIMINARY STAGE 1

R.P. DESCRIPTION
 LOT 0 SP308738, LOTS 0-2 SP308739,
 LOT 0 SP308740, LOT 4 SP308740,
 LOTS 10-16 SP314782
 58-68 DELANCEY STREET
 LOCALITY OF ORMISTON

CLIENT

**THE HUB
 PRECINCT
 PTY LTD**



0 10 20 30 40 50m
 Scale 1:1000 - A1 (1:2000 - A3)

ISSUES	DATE
TENDER	
COUNCIL	
CONSTRUCTION	

PRE DATE	AMENDMENT
B 13-04-23	ADJUST INTERNAL REFERENCE WORKS
A 08-12-22	COUNCIL ISSUE

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ASSOCIATED CONSULTANTS

DRAWING TITLE

**FUNCTIONAL LAYOUT PLAN
 &
 GENERAL NOTES**

PRELIMINARY ISSUE

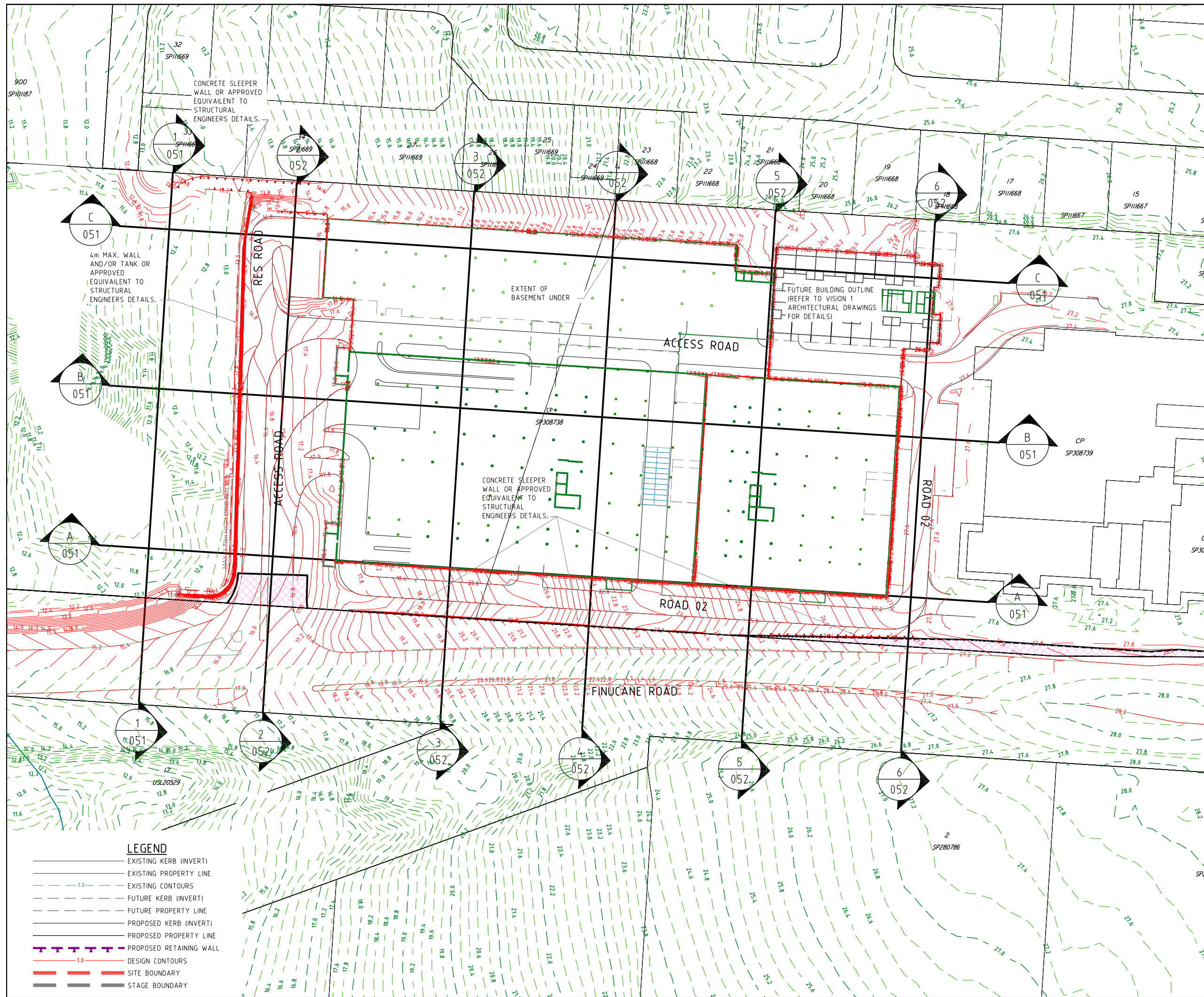
MORTONS
 urbansolutions
 Urban & Regional Planning
 Civil Engineering
 Project Coordination

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37801-PS1-005			B





LEGEND

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- - - 1.0 - - - EXISTING CONTOURS
- - - FUTURE KERB (INVERT)
- - - FUTURE PROPERTY LINE
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- - - PROPOSED RETAINING WALL
- - - 1.0 - - - DESIGN CONTOURS
- SITE BOUNDARY
- STAGE BOUNDARY

PRELIMINARY STAGE 1

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 LOT 0 SP308740, LOT 4 SP308740,
 LOTS 10-16 SP314782
 58-68 DELANCEY STREET
 LOCALITY OF ORMISTON

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0 15 30 45 60 75m
 Scale 1:1500 - A1 (1:3000 - A3)

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CONSTRUCTION	

PRE DATE	AMENDMENT

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DRAWING TITLE

**BULK EARTHWORKS
 SECTION KEY PLAN**



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APPROVED	DATE 11.04.23

DRAWING NUMBER	AMEND.
37801-PS1-050	B

* TEMPORARY 1:1 BATTER SUBJECT TO GEOTECHNICAL ENGINEER APPROVAL

DATUM 6.0		
FINISHED SURFACE		
EXISTING SURFACE	12.587	12.134
CHAINAGE	0	10

LONGITUDINAL SECTION 1

Horizontal scale 1:500
Vertical scale 1:500

CRIB WALL OR TANK EDGE SUBJECT TO STRUCTURAL ENG. DESIGN

DATUM 6.0		
FINISHED SURFACE		
EXISTING SURFACE	11.597	12.142
CHAINAGE	0	10

LONGITUDINAL SECTION C

Horizontal scale 1:500
Vertical scale 1:500

CRIB WALL OR TANK EDGE SUBJECT TO STRUCTURAL ENG. DESIGN

DATUM 3.0		
FINISHED SURFACE		
EXISTING SURFACE	11.655	9.888
CHAINAGE	0	10

LONGITUDINAL SECTION B

Horizontal scale 1:500
Vertical scale 1:500

CRIB WALL OR TANK EDGE SUBJECT TO STRUCTURAL ENG. DESIGN

DATUM 6.0		
FINISHED SURFACE		
EXISTING SURFACE	11.503	11.291
CHAINAGE	0	10

LONGITUDINAL SECTION A

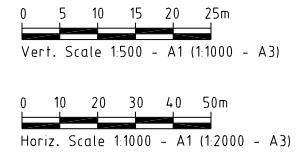
Horizontal scale 1:500
Vertical scale 1:500



PRELIMINARY STAGE 1

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58-68 DELANCEY STREET
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COUNCIL	
CONSTRUCTION	

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**BULK EARTHWORKS
SECTIONS
SHEET 01**



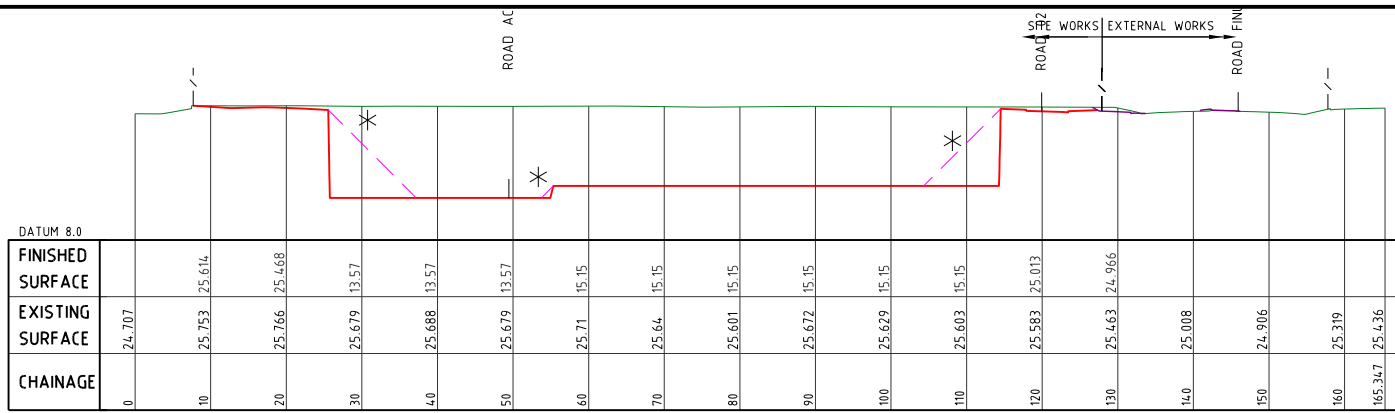
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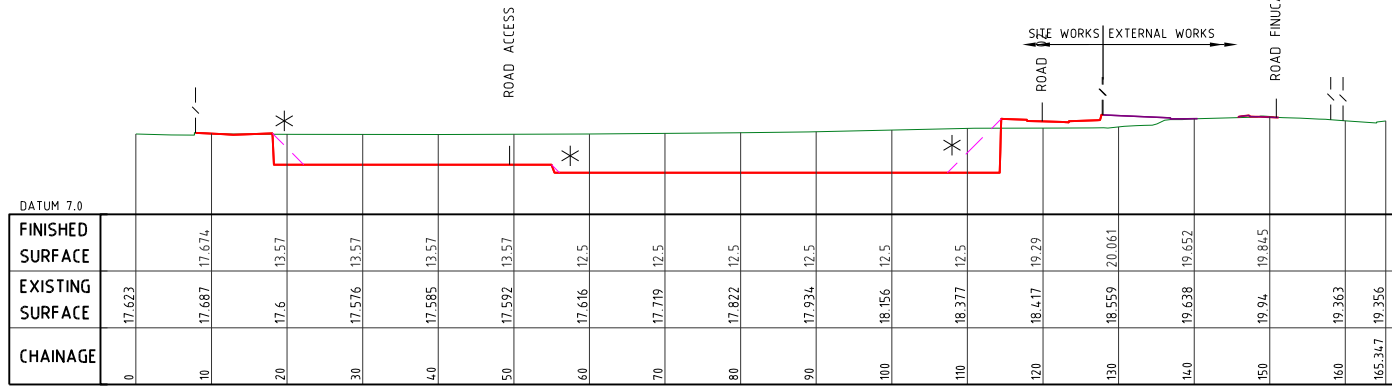
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APPROVED		DATE	11.04.23
DRAWING NUMBER			AMEND.
37801-PS1-051			B

* TEMPORARY 1:1
BATTER SUBJECT
TO GEOTECHNICAL
ENGINEER
APPROVAL



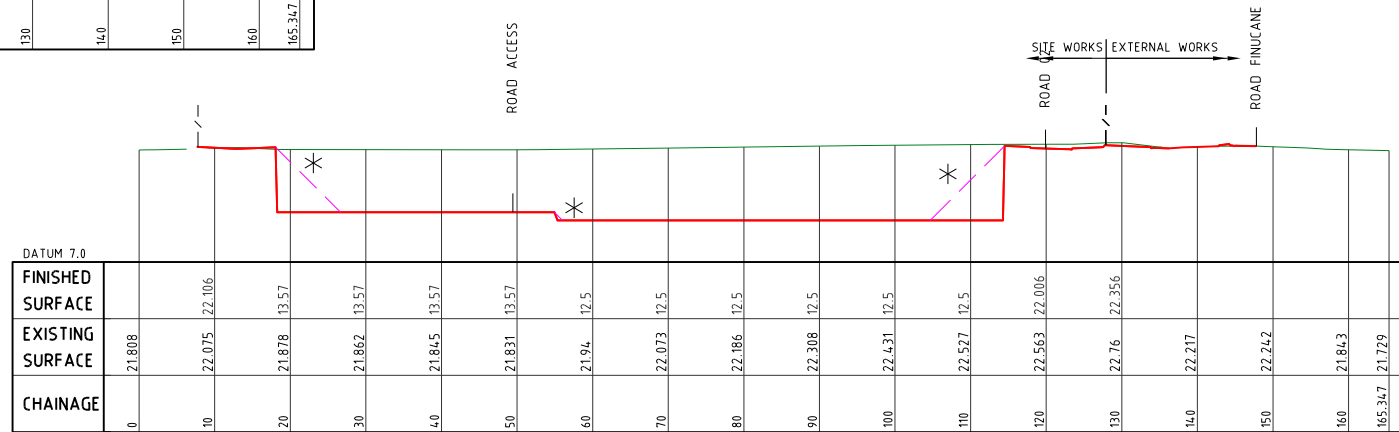
LONGITUDINAL SECTION 5

Horizontal scale 1500
Vertical scale 1500



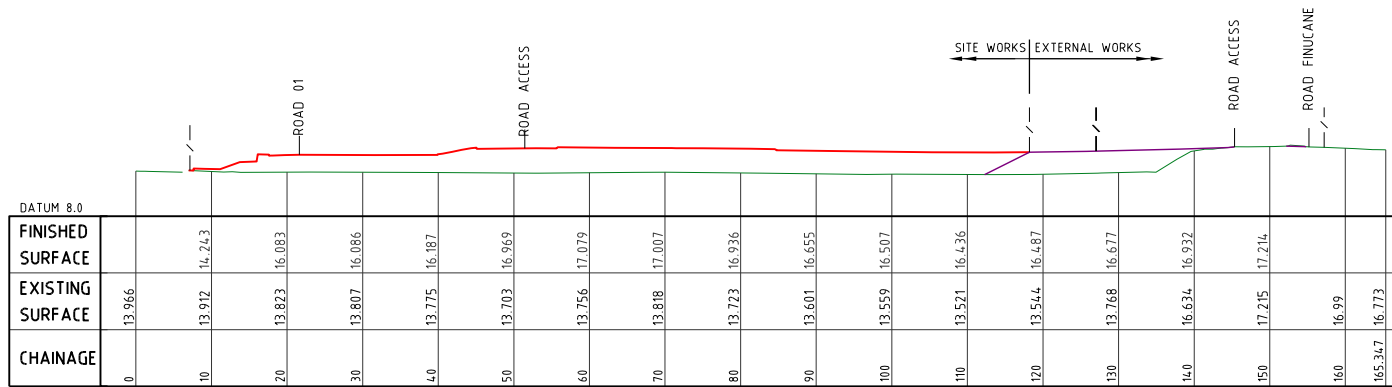
LONGITUDINAL SECTION 3

Horizontal scale 1500
Vertical scale 1500



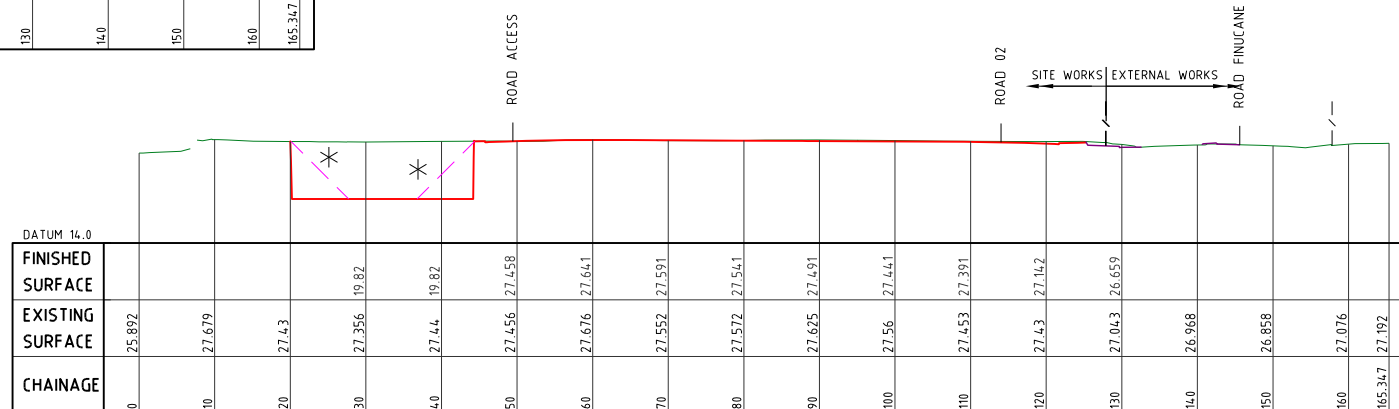
LONGITUDINAL SECTION 4

Horizontal scale 1500
Vertical scale 1500



LONGITUDINAL SECTION 2

Horizontal scale 1500
Vertical scale 1500



LONGITUDINAL SECTION 6

Horizontal scale 1500
Vertical scale 1500

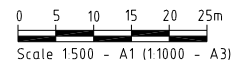


PRELIMINARY STAGE 1

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LOT 0 SP308738, LOTS 0-2 SP308739,
LOT 0 SP308740, LOT 4 SP308740,
LOTS 10-16 SP314782
58-68 DELANCEY STREET
LOCALITY OF ORMISTON

CLIENT

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BULK EARTHWORKS
SECTIONS
SHEET 02

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Civil Engineering
Project Coordination

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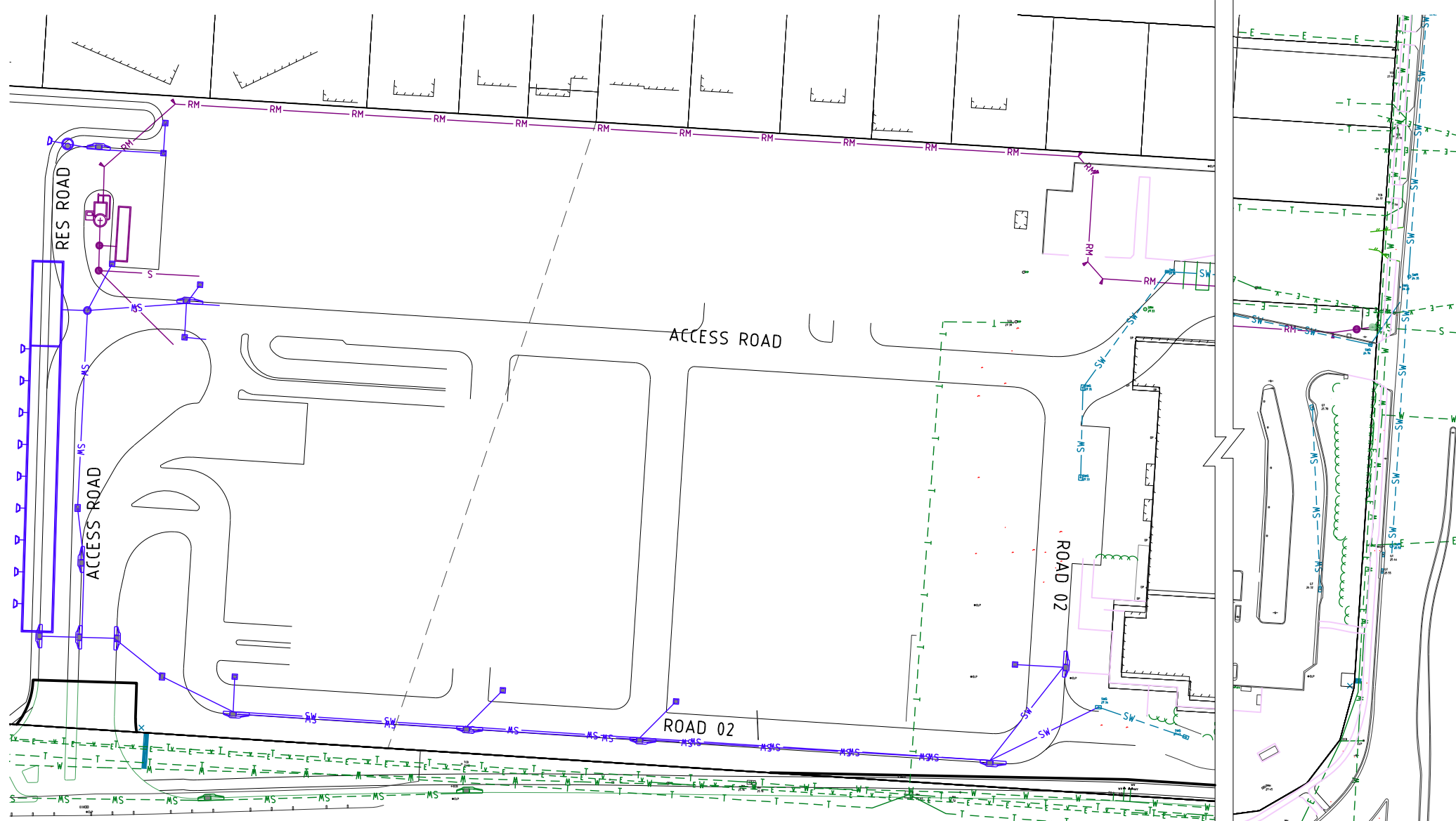
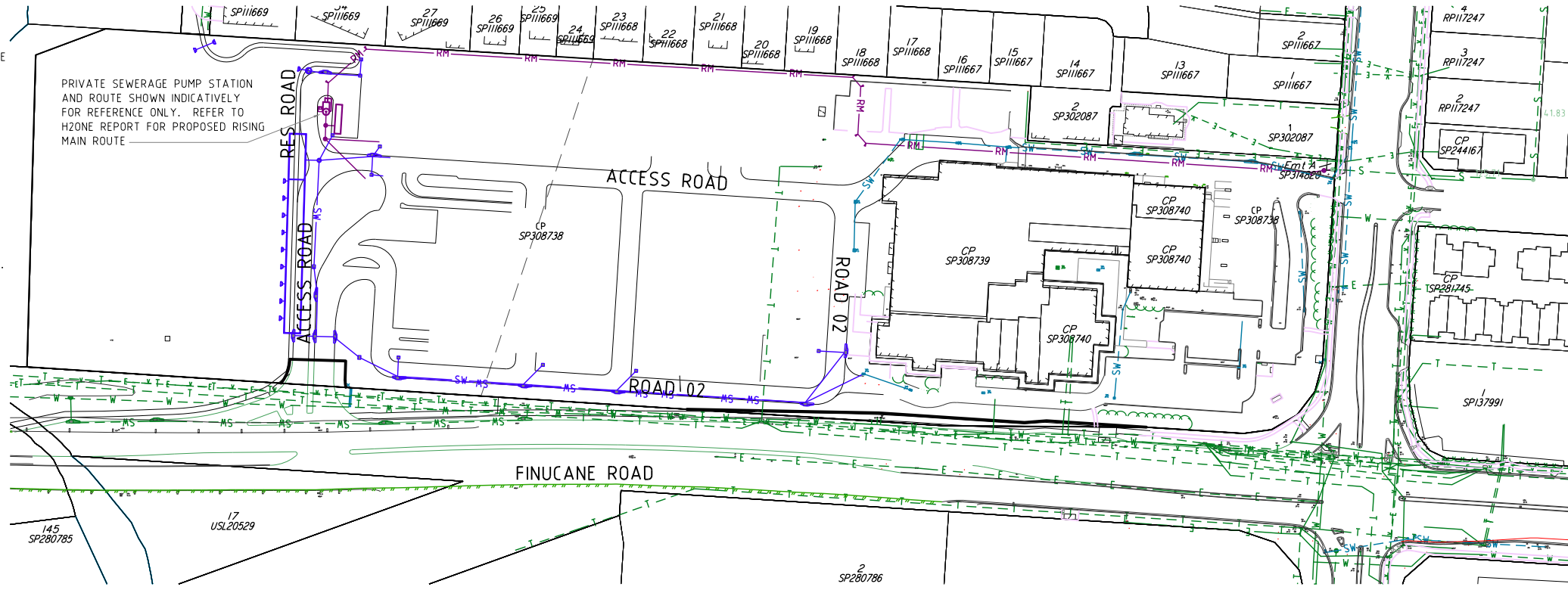
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CONSTRUCTION SERVICES

- CONSTRUCTION OF SEWER/ROOFWATER/STORMWATER/SERVICES**
EXCAVATED MATERIAL TO BE PLACED ON HIGH SIDE OF TRENCH & TO PROTECT PIPE WORK & DIRECT SURFACE MATERIAL AWAY FROM EXCAVATIONS. TOPSOIL & GRASS SEED AREAS IN ALLOTMENTS IMMEDIATELY AFTER COMPLETING THE SEWER & ROOFWATER DRAINAGE CONSTRUCTION. DEPRESS GROUND AROUND TEMPORARY FIELD INLETS TO CREATE SILT POND.
- TRIP HAZARD**
MANHOLES OR STRUCTURES INSTALLED IN THE ROAD, FOOTPATH OR VERGE MUST MATCH NEATLY WITH NO TRIP HAZARD.
- EXISTING SERVICES - EXTERNAL WORKS**
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING KERB (INVERT)
---	EXISTING FOOTPATH
RM	EXISTING RISING MAIN
S	EXISTING SEWER
SW	EXISTING STORMWATER
RW	EXISTING ROOFWATER
SS	EXISTING SUBSOIL
W100	EXISTING WATER
W150	EXISTING WATER
W200	EXISTING WATER
W225	EXISTING WATER
W250	EXISTING WATER
W300	EXISTING WATER
---	EXISTING WATER CONDUIT
---	PROPOSED PROPERTY LINE
---	PROPOSED KERB (INVERT)
---	PROPOSED FOOTPATH
RM	PROPOSED RISING MAIN
S	PROPOSED SEWER
SW	PROPOSED STORMWATER
RW	PROPOSED ROOFWATER
SS	PROPOSED SUBSOIL
W100	PROPOSED WATER
W150	PROPOSED WATER
W200	PROPOSED WATER
W225	PROPOSED WATER
W250	PROPOSED WATER
W300	PROPOSED WATER
---	PROPOSED WATER CONDUIT
---	FUTURE PROPERTY LINE
---	FUTURE KERB (INVERT)
---	FUTURE FOOTPATH
RM	FUTURE RISING MAIN
S	FUTURE SEWER
SW	FUTURE STORMWATER
RW	FUTURE ROOFWATER
SS	FUTURE SUBSOIL
W100	FUTURE WATER
W150	FUTURE WATER
W200	FUTURE WATER
W225	FUTURE WATER
W250	FUTURE WATER
W300	FUTURE WATER
---	FUTURE WATER CONDUIT
---	SITE BOUNDARY
---	STAGE BOUNDARY



DETAIL PLAN
SCALE 1:500 (A1)



PRELIMINARY STAGE 1

RP DESCRIPTION
LOT 0 SP308738, LOTS 0-2 SP308739,
LOT 0 SP308740, LOT 4 SP308740,
LOTS 10-16 SP314782
58-68 DELANCEY STREET
LOCALITY OF ORMISTON

CLIENT

**THE HUB
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PTY LTD**



0 10 20 30 40 50m
Scale 1:1000 - A1 (1:2000 - A3)

ISSUES	DATE
TENDER	
COUNCIL	
CONSTRUCTION	

B	DATE	DESCRIPTION
B	13-04-23	ADJUST INTERNAL REFERENCE WORKS
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**COMBINED SERVICES
PLAN
SHEET 01**

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Civil Engineering
Project Coordination

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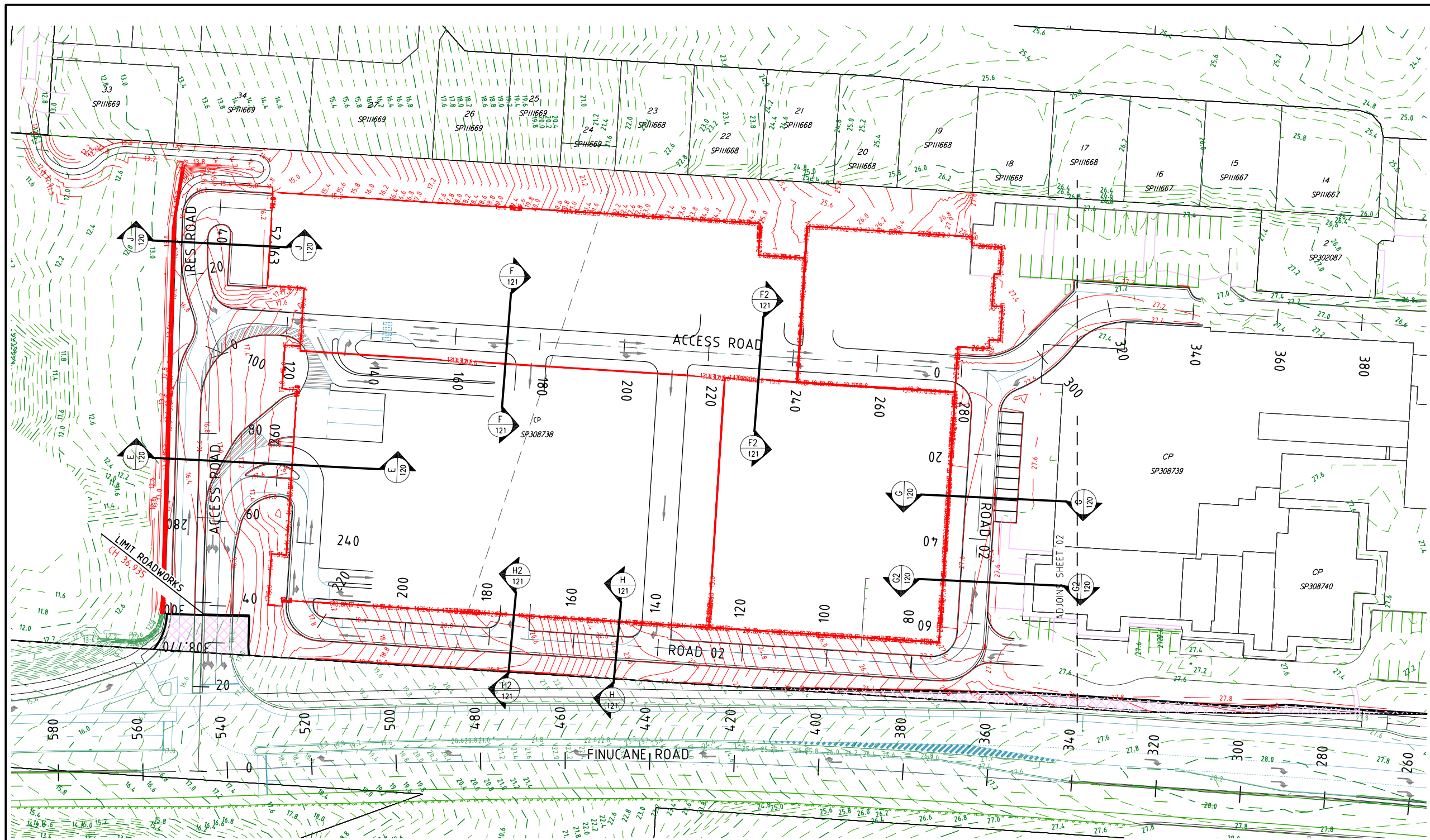
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ROADWORKS

1. PAVEMENT DEPTHS
 - a) THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE DEPTHS SHOWN IN THE SCHEDULE OF PAVEMENT DEPTHS ON DRAWING 120.
 - b) THE PAVEMENT DEPTHS GIVEN ARE DESIGN DEPTHS ONLY & MAY BE VARIED AFTER SUB-GRADE TESTS ARE TAKEN. THE CONTRACTOR IS TO PROVIDE THE SUPERINTENDENT A SUBGRADE C.B.R. REPORT PREPARED BY A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER. THE SUPERINTENDENT WILL COORDINATE THE AUTHORITIES APPROVAL OF THE PAVEMENT DESIGN.
 - c) REFER TO DWG. 120 FOR TYPICAL ROAD SECTIONS.
2. TESTING

ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS.
3. SUBSOIL DRAINS

SUBSOIL DRAINS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL AUTHORITY'S SPECIFICATIONS. SUBSOIL DRAINS SHALL BE PLACED UNDER ALL KERB STRUCTURES & ARE TO BE CONSTRUCTED TO A DEPTH GREATER THAN THAT OF THE INVERT OF THE DEEPEST SERVICE CROSSING.
4. MITRE DRAINS

MITRE DRAINS ARE TO BE CONSTRUCTED ALONG THE CUT/FILL INTERFACE & SAG/LOW POINTS OF ALL ROADS. CONTRACTOR TO REQUEST DIRECTION FROM SUPERINTENDENT WHETHER TO INSTALL MITRE DRAIN AT ROCK ENCOUNTERED IN SUBGRADE. ALL MITRE DRAINS MUST BE FREE DRAINING & TIE INTO THE ADJACENT SUBSOIL DRAINS.
1. ROCK

THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR RATES.
2. TURF

1.0m TURF STRIP TO BE INSTALLED BEHIND THE BACK OF ALL KERBS. A PERPENDICULAR TURF STRIP AT MAXIMUM 10m INCREMENTS MUST BE INSTALLED TO FULL VERGE WIDTH FOR SEDIMENT & EROSION CONTROL PURPOSES.
7. KERBS

ALL KERBS TO BE CONSTRUCTED IN ACCORDANCE WITH AUTHORITY STANDARDS
8. PAVEMENT TIE-IN

PAVEMENT TIE-IN TO BE IN ACCORDANCE WITH DWG. 120

LEGEND

- EXISTING KERB (INVERT)
- EXISTING KERB (LIP & BACK)
- EXISTING FOOTPATH
- EXISTING PROPERTY LINE
- - - 1.0 - - - EXISTING CONTOURS
- - - - - FUTURE KERB
- - - - - FUTURE FOOTPATH
- - - - - FUTURE PROPERTY LINE
- - - 1.0 - - - FUTURE CONTOURS
- CONTROL LINE / CENTER OF ROAD
- PROPOSED KERB (INVERT)
- PROPOSED KERB (LIP & BACK)
- PROPOSED FOOTPATH
- PROPOSED PROPERTY LINE
- - - - - SITE BOUNDARY
- - - - - STAGE BOUNDARY
- - - 1.0 - - - DESIGN CONTOURS
- ▨ PROPOSED RESUMPTION AREA
- 4.1065 CENTRELINE CHAINAGE



PRELIMINARY STAGE 1

R.P. DESCRIPTION
 LOT 0 SP308738, LOTS 0-2 SP308739,
 LOT 0 SP308740, LOT 4, SP308740,
 LOTS 10-16 SP314782
 58-68 DELANCEY STREET
 LOCALITY OF ORMISTON

CLIENT
**THE HUB
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 PTY LTD**



Scale 1:500 - A1 (1:1000 - A3)

ISSUES	DATE
TENDER	
COUNCIL	
CONSTRUCTION	

PRE DATE	AMENDMENT
B 13-04-23	ADJUST INTERNAL REFERENCE WORKS
A 08-12-22	COUNCIL ISSUE

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DRAWING TITLE

**ROADWORKS
 PLAN
 SHEET 1**



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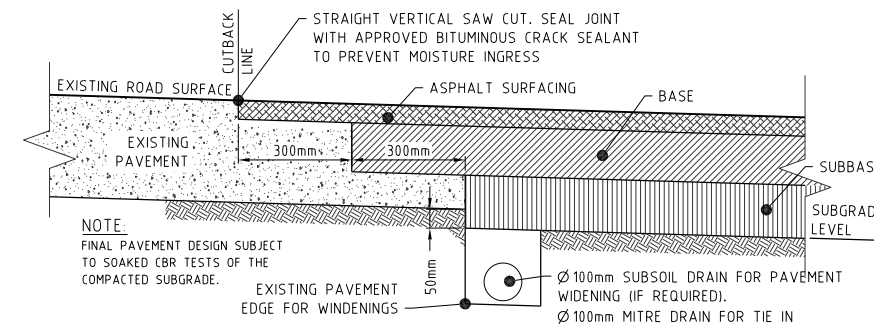
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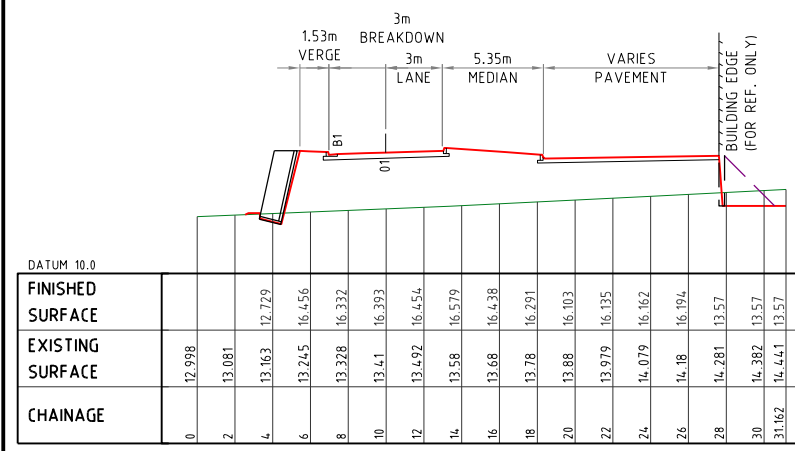
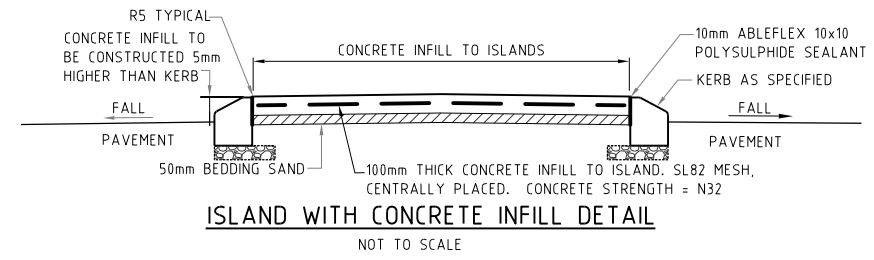
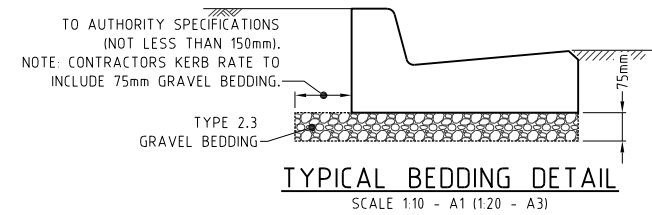
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APPROVED	RPEQ	DATE	11.04.23
DRAWING NUMBER			AMEND.
37801-PS1-100			B

SCHEDULE OF PAVEMENT DEPTHS							
ROAD NAME	SURFACING	BASE	SUB-BASE	LOWER SUB-BASE	CLASSIFICATION	DESA OR VPD	DESIGN GUIDE
ACCESS ROAD	30mm DG10 7mm Primer Seal	125mm TYPE 2.1 (CBR 80)	125mm TYPE 2.3 (CBR 45)	150mm TYPE 2.5 (CBR 15)	PRIVATE DRIVEWAY	1.5x10 ⁶	AUSTROADS FIGURE 8.4
ROAD 02	30mm DG10 7mm Primer Seal	125mm TYPE 2.1 (CBR 80)	125mm TYPE 2.3 (CBR 45)	150mm TYPE 2.5 (CBR 15)	PRIVATE DRIVEWAY	1.5x10 ⁶	AUSTROADS FIGURE 8.4

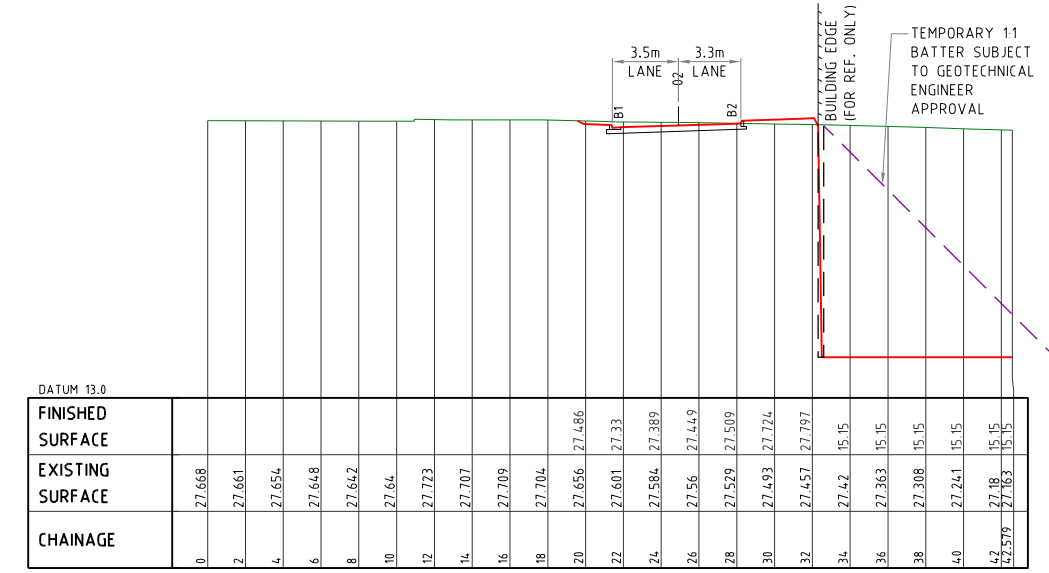
SCHEDULE OF KERB TYPES		
KERB TYPE	IMAGE	REFERENCE
B1		IPWEA DWG. RS-080
B2		NOTE: SUBSOIL DRAINS TO BE PLACED UNDER ALL KERBS.
SM3		
DD CONCRETE DISH DRAIN		



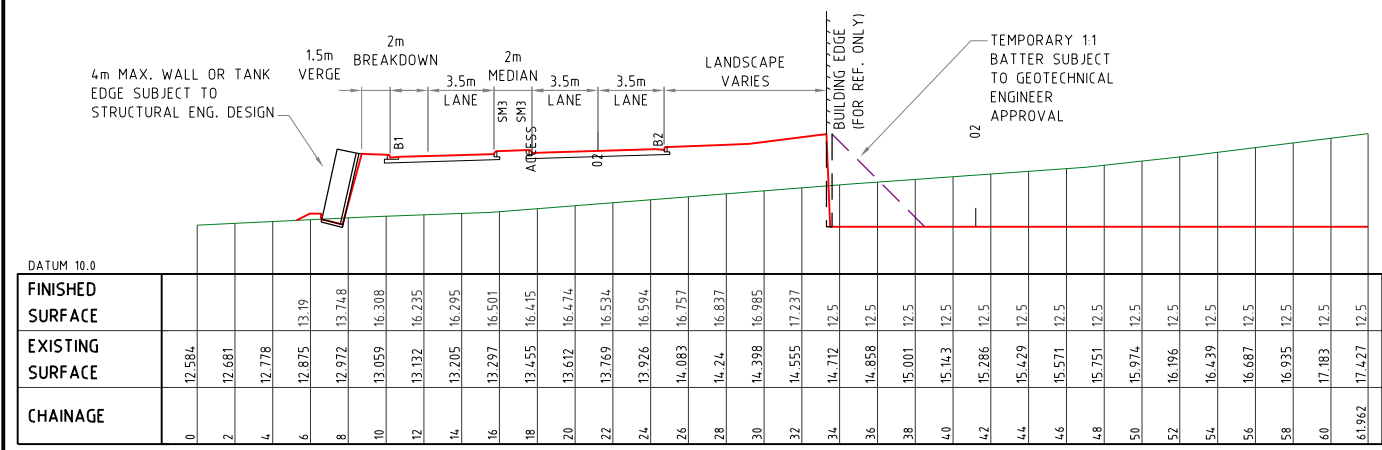
NOTE: THE PAVEMENT DEPTHS ARE GIVEN AS A GUIDE ONLY AND FINAL PAVEMENT DESIGN WILL BE DETERMINED AFTER CBR TESTING IS UNDERTAKEN, AND COUNCIL HAVE APPROVED THE DESIGN. PLEASE NOTE CBR10 IS MAXIMUM INSITU CBR VALUE.



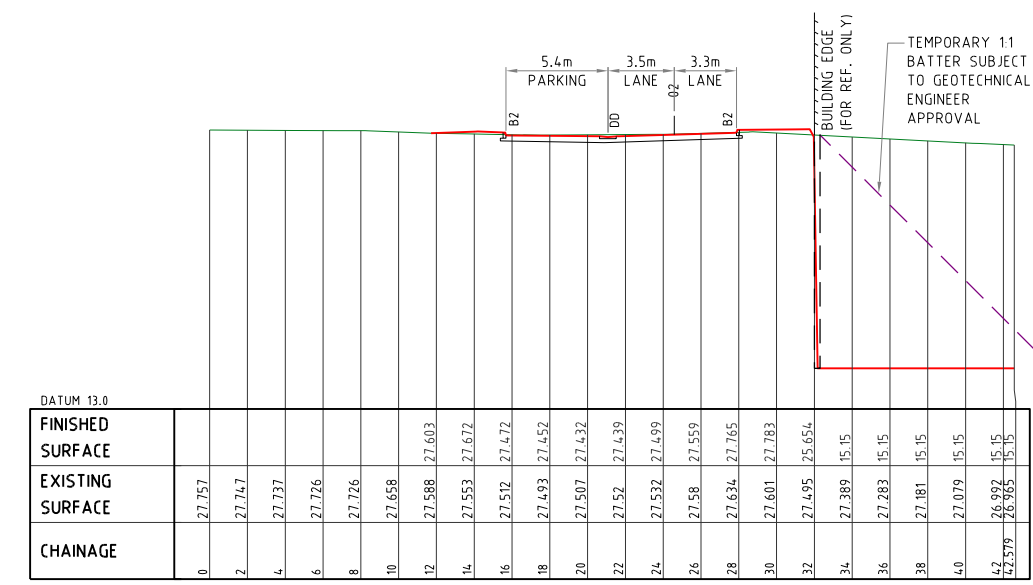
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Vertical scale 1:200



TYPICAL SECTION G2
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Vertical scale 1:200



TYPICAL SECTION E
Horizontal scale 1:200
Vertical scale 1:200

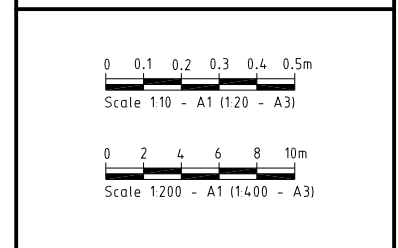


TYPICAL SECTION G
Horizontal scale 1:200
Vertical scale 1:200



PRELIMINARY STAGE 1
R.P. DESCRIPTION
LOT 0 SP308738, LOTS 0-2 SP308739,
LOT 0 SP308740, LOT 4 SP308740,
LOTS 10-16 SP314782
58-68 DELANCEY STREET
LOCALITY OF ORMISTON

THE HUB PRECINCT PTY LTD



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TENDER	
COUNCIL	
CONSTRUCTION	

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ROADWORKS DETAILS SHEET 01

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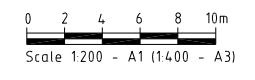
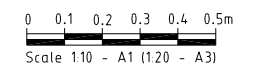
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PRELIMINARY STAGE 1

R.P. DESCRIPTION
 LOT 0 SP308738, LOTS 0-2 SP308739,
 LOT 0 SP308740, LOT 4 SP308740,
 LOTS 10-16 SP314782
 58-68 DELANCEY STREET
 LOCALITY OF ORMISTON

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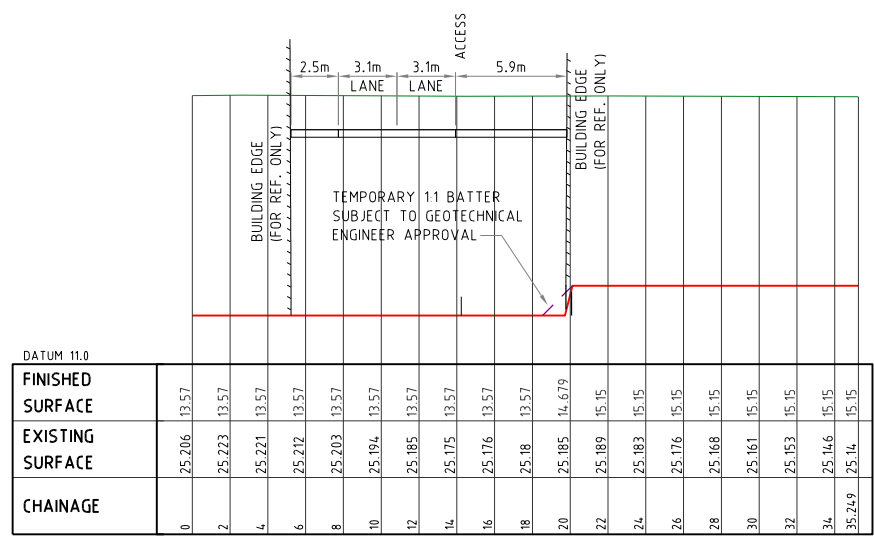


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 mortons@urbansolutions.net.au
 www.urbansolutions.net.au Gold Coast Office
 Tel 07 5571 1099 Suite 9, 19 Short St
 Southport QLD 4215

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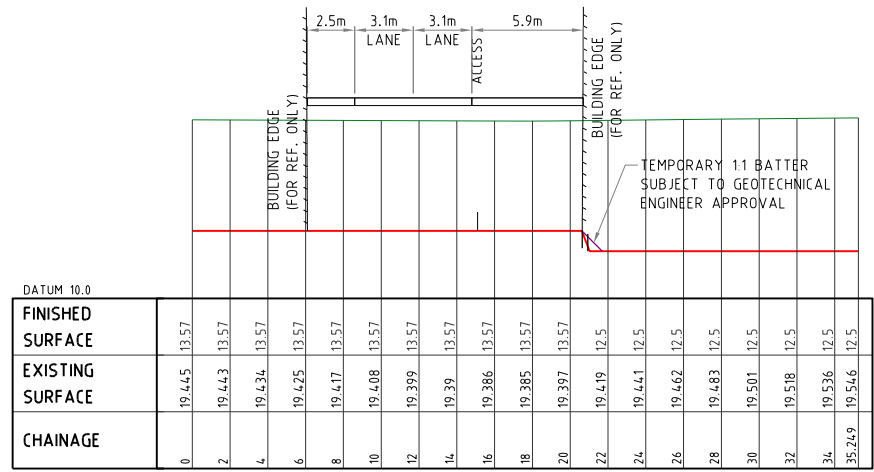
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TYPICAL SECTION F2

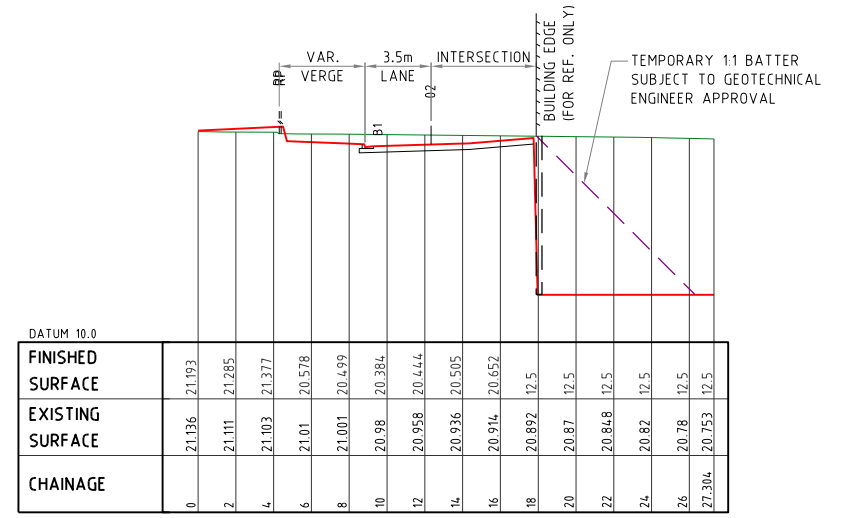
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NOTE:
 RAMP TO BE DESIGNED AS PART OF BUILDING WORKS. SHOWN INDICATIVELY ONLY



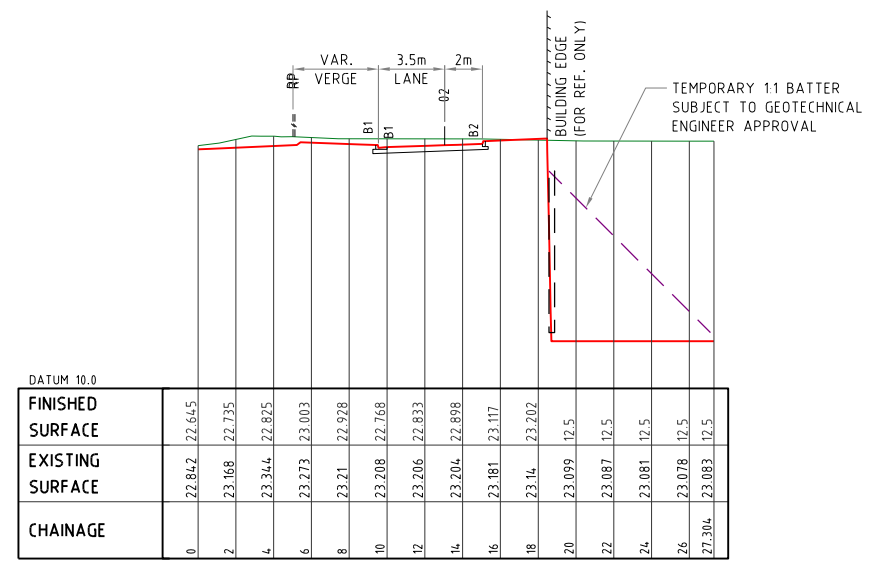
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 Vertical scale 1:200



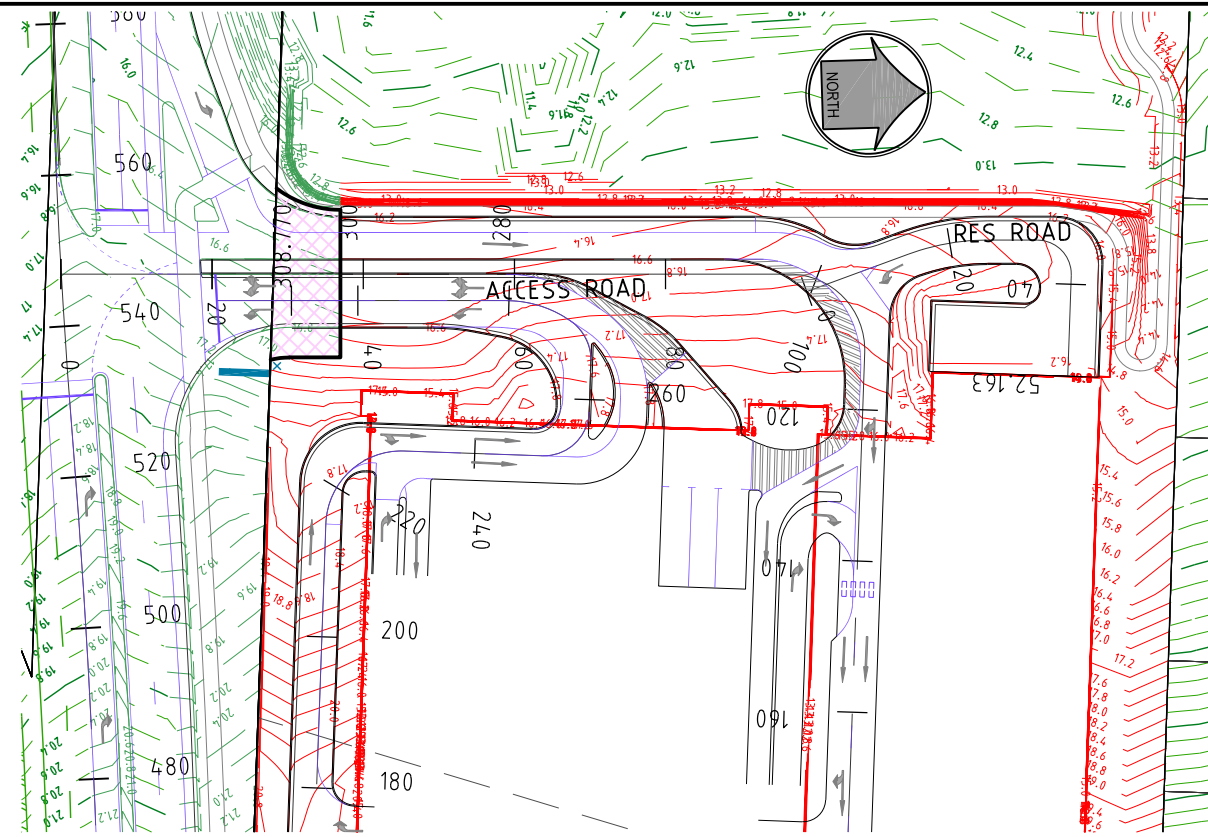
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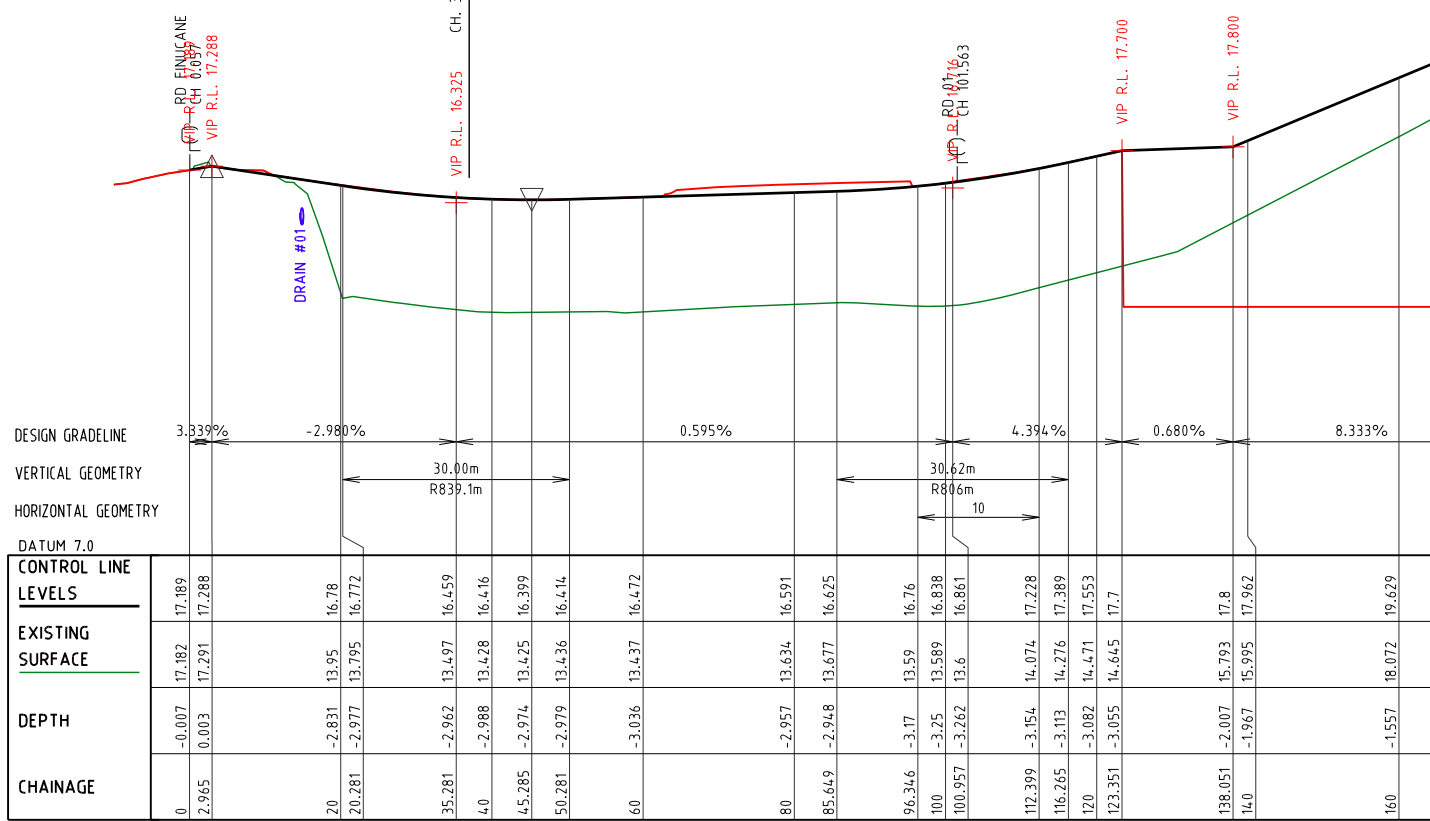
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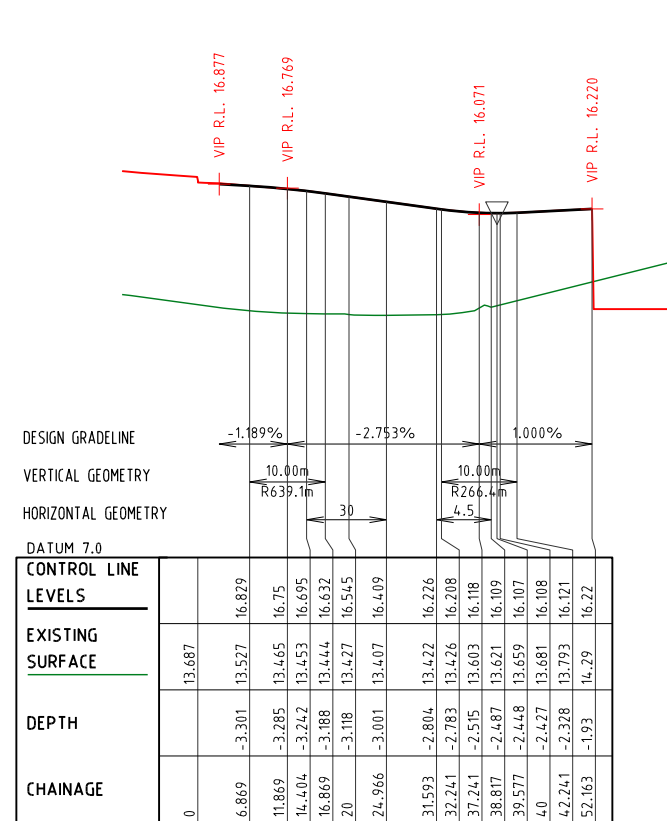
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CH. 37 PROPOSED PROPERTY BOUNDARY



LONGITUDINAL SECTION ACCESS

REFER TO SHEET 02 FOR CONTINUATION



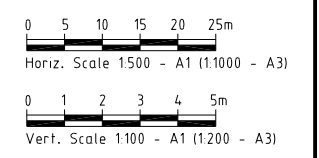
LONGITUDINAL SECTION RES



PRELIMINARY STAGE 1

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 LOT 0 SP308738, LOTS 0-2 SP308739,
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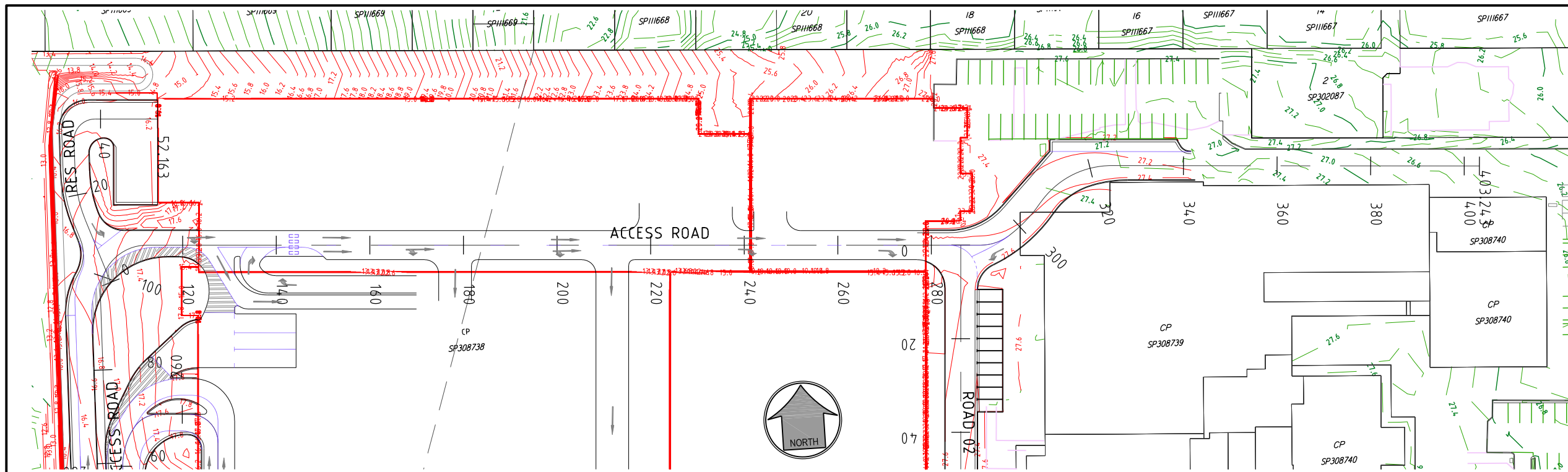
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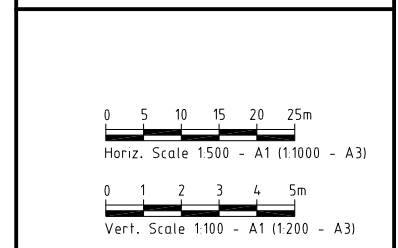
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 ACCESS ROAD
 SHEET 02**



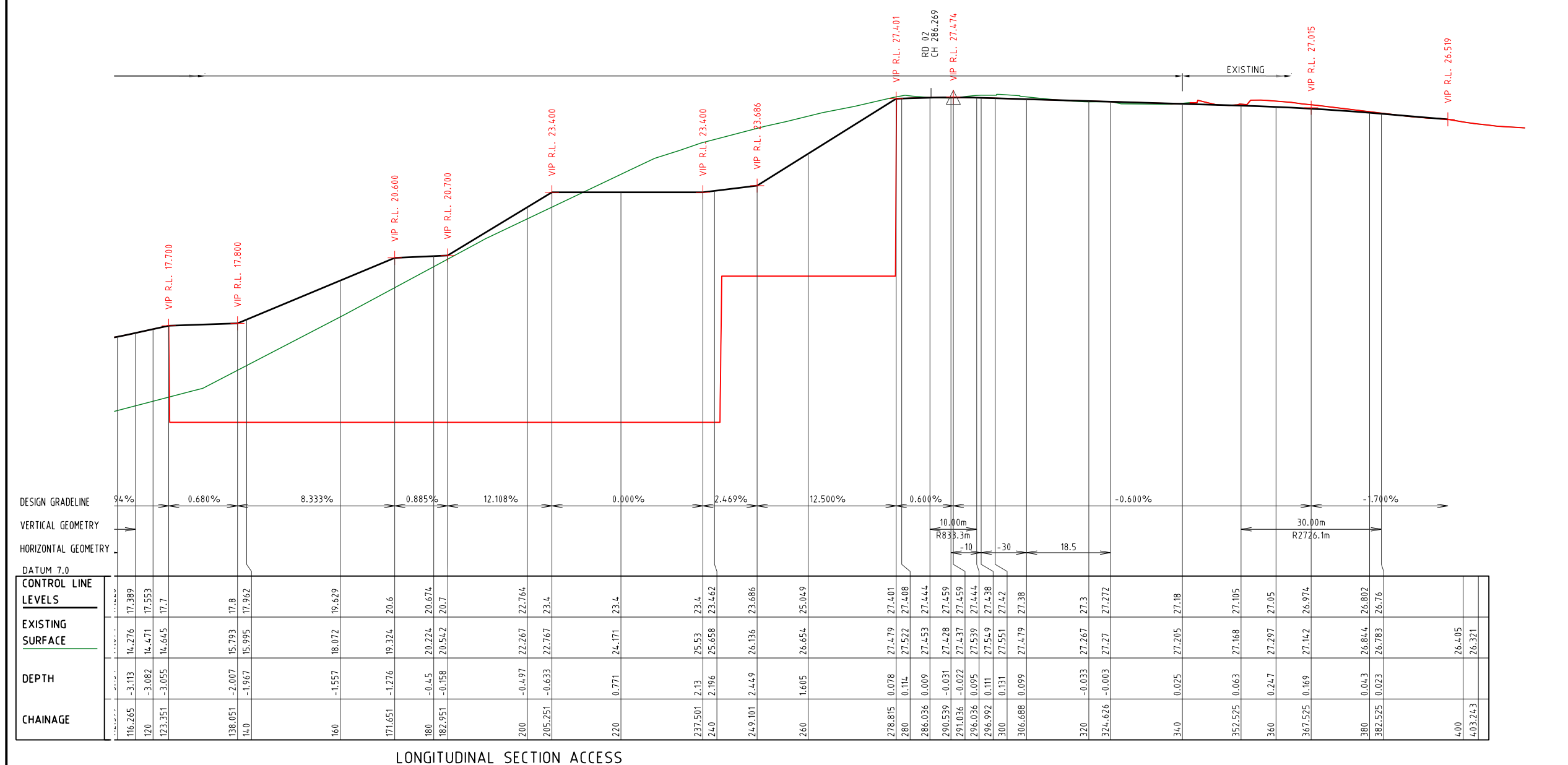
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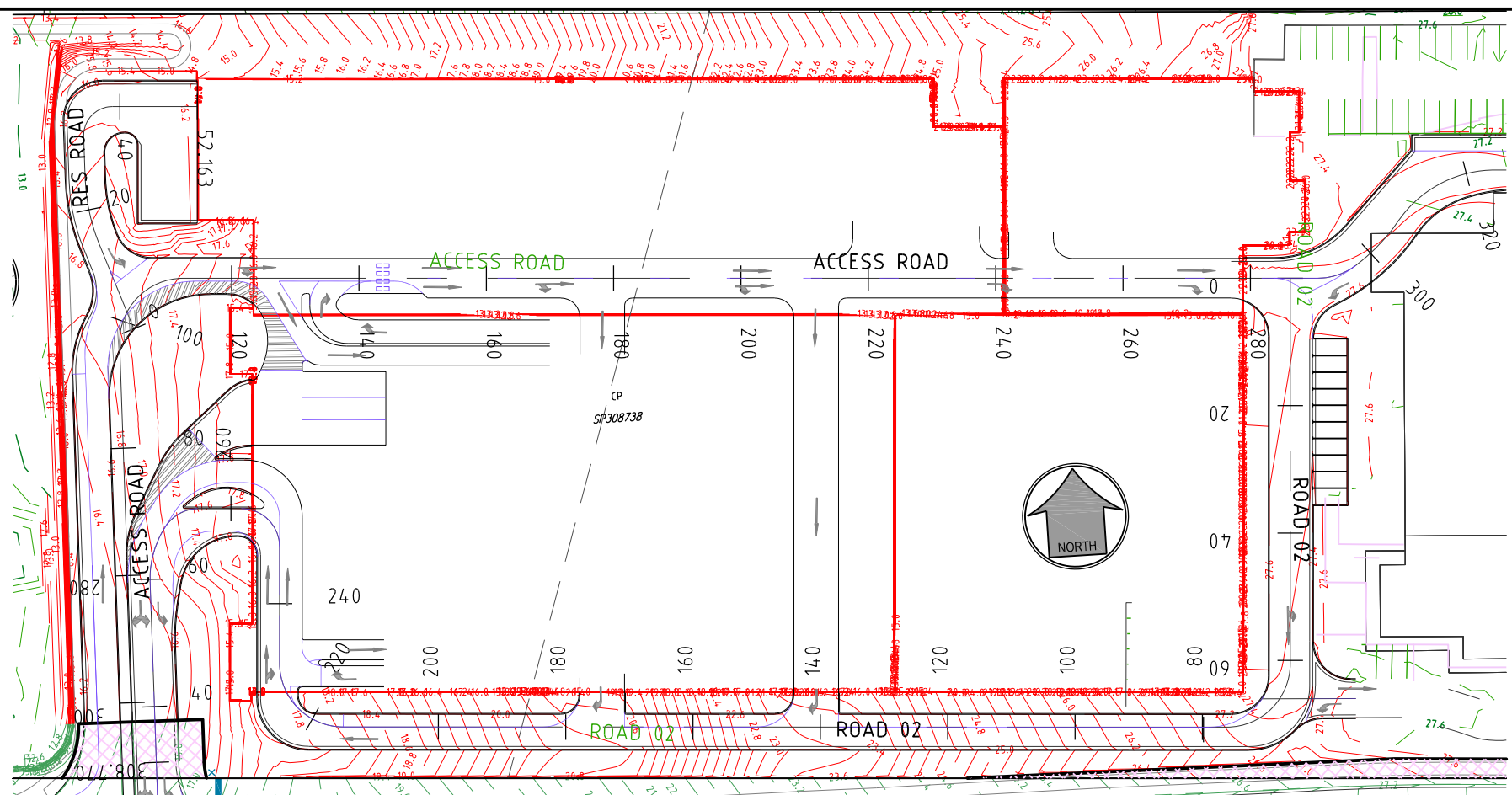
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Road Access
VIP RCH 27.445
VIP R.L. 27.635

VIP R.L. 27.312

VIP R.L. 25.169

VIP R.L. 23.350

VIP R.L. 23.200

VIP R.L. 20.500

VIP R.L. 20.379

VIP R.L. 17.800

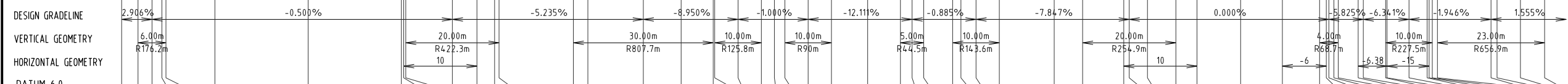
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VIP R.L. 16.749

VIP R.L. 16.406

VIP R.L. 16.657



CHAINAGE	DEPTH	EXISTING SURFACE	CONTROL LINE LEVELS
0	0.003	27.448	27.445
3.516	-0.101	27.447	27.547
6.516	-0.054	27.555	27.609
8.635	-0.007	27.615	27.622
9.516	0.019	27.638	27.62
20	-0.059	27.508	27.567
40	0.151	27.618	27.467
60	0.114	27.482	27.367
60.491	0.111	27.476	27.365
60.939	0.106	27.468	27.362
70.939	0.102	27.296	27.194
76.201	0.047	27.058	27.01
80	0.067	26.904	26.837
80.939	0.083	26.872	26.789
96.882	0.22	26.174	25.954
100	0.233	26.018	25.785
111.882	0.565	25.595	25.03
120	0.729	25.142	24.413
126.882	0.918	24.744	23.827
127.202	0.925	24.722	23.798
132.202	0.961	24.411	23.45
137.202	0.741	24.041	23.3
140	0.59	23.862	23.272
142.239	0.468	23.718	23.25
147.239	0.337	23.398	23.061
152.239	0.388	22.983	22.594
160	0.663	22.317	21.654
167.032	0.914	21.717	20.803
169.532	0.898	21.468	20.57
172.032	0.741	21.219	20.478
178.236	0.177	20.6	20.423
180	0.024	20.42	20.397
183.236	-0.22	20.072	20.292
188.236	-0.468	19.518	19.986
200	-1.007	18.057	19.063
206.096	-1.279	17.306	18.585
214.931	-1.834	16.211	18.045
216.096	-1.93	16.066	17.996
220	-2.155	15.718	17.873
226.096	-2.465	15.335	17.8
230.637	-2.535	15.265	17.8
240	-2.661	15.139	17.8
248.94	-2.783	15.017	17.8
256.917	-3.16	14.64	17.8
258.365	-3.222	14.563	17.785
258.917	-3.238	14.533	17.771
260	-3.258	14.473	17.731
260.917	-3.261	14.422	17.684
265.202	-3.249	14.185	17.434
266.304	-3.246	14.123	17.37
271.093	-3.193	13.873	17.066
271.391	-3.186	13.861	17.047
276.093	-3.103	13.701	16.804
280	-3.045	13.631	16.676
280.413	-3.029	13.637	16.666
281.093	-3.004	13.648	16.652
282.192	-2.965	13.666	16.63
293.692	-2.806	13.701	16.507
294.976	-2.808	13.698	16.506
300	-2.817	13.708	16.525
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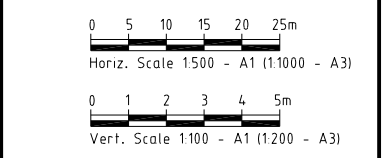
LONGITUDINAL SECTION 02

LONGITUDINAL SECTION 02



PROJECT NAME
PRELIMINARY STAGE 1
R.P. DESCRIPTION
LOT 0 SP308738, LOTS 0-2 SP308739,
LOT 0 SP308740, LOT 4 SP308740,
LOTS 10-16 SP314782
58-68 DELANCEY STREET
LOCALITY OF ORMISTON

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**LONGITUDINAL SECTIONS
ROAD 02**

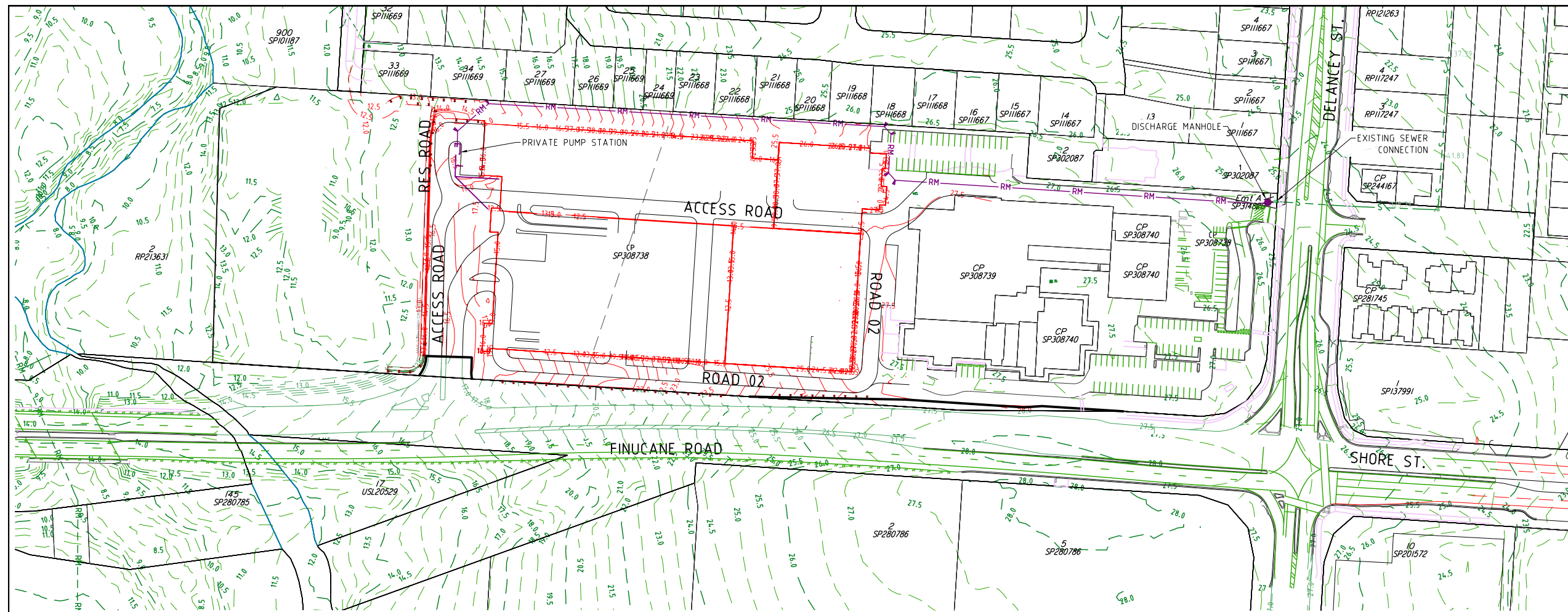
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SEQ CODE SEWER NOTES

SEQ CODE NOTES COPIED DIRECTLY FROM DRAWING SEQ-SEW-1101-3.

VEGETATION PROTECTION

- TREES LOCATED ALONG THE FOOTPATH SHALL BE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
- WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES SHALL BE CONSTRUCTED WITH 1.8 m BATTENS CLOSELY SPACED & ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES SHALL BE STRAPPED TO TREES PRIOR TO CONSTRUCTION & REMAIN UNTIL COMPLETION.
- TREE ROOTS SHALL BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHALL BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT COUNCIL ARBORIST FOR FURTHER ADVICE.
- ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.

SOIL

- TOPSOIL & SUBSOIL SHALL BE STOCKPILED SEPARATELY.
- CARE SHALL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND STOCKPILES.
- IF ACID SULPHATE SOILS EXIST IN THE WORKS AREA. THE CONTRACTOR MUST PREPARE A RISK ASSESSMENT BASED ON THE QUEENSLAND ACID SULPHATE SOIL TECHNICAL MANUAL & MANAGE THE ACID SULPHATE SOILS AS PER THE MANUAL.

CREEK CROSSINGS

- SILTATION CONTROL MEASURES SHALL BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
- APPROPRIATE SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
- NO SOIL SHALL BE STOCKPILED WITHIN 5 m OF THE CREEK.

REHABILITATION

- PREDISTURBANCE SOIL PROFILES & COMPACTION LEVELS SHALL BE REINSTATED.
- PREDISTURBANCE VEGETATION PATTERNS SHALL BE RESTORED.

SAFETY

- THE DESIGN & CONSTRUCTION OF THE WORKS SHALL COMPLY WITH ALL QUEENSLAND LEGISLATION.

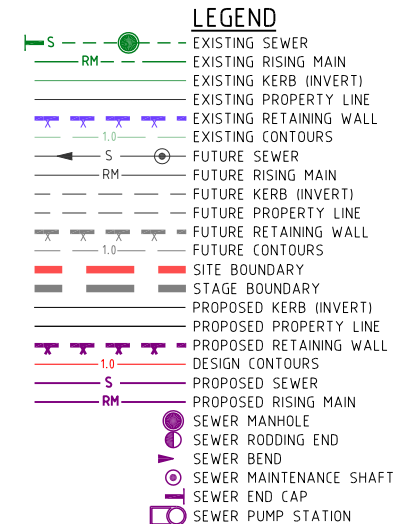
GENERAL

- ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SOUTH EAST QUEENSLAND SEWERAGE CODE SPECIFICATIONS & STANDARDS.
- UNLESS SPECIFIED OTHERWISE ALL MATERIALS & WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- THE CONSTRUCTION OF THE SEWERAGE WORK SHOWN ON THIS DRAWING SHALL BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. SEWERAGE WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT INTO THE SEQ SERVICE PROVIDER SEWERAGE SYSTEM.
- ALL WORK ASSOCIATED WITH LIVE SEWERS OR MAINTENANCE HOLES SHALL BE CARRIED OUT BY DEVELOPER'S APPROVED CONTRACTOR UNDER THE SUPERVISION OF SEQ'S AGENT AT THE DEVELOPER'S COST.
- ALL PIPES & MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE "ACCEPTED PRODUCTS & MATERIALS" LIST.
- EACH ALLOTMENT SHALL BE SERVED BY A DN100 PVC PROPERTY CONNECTION. FOR ALLOTMENTS OTHER THAN SINGLE RESIDENTIAL, A DN160 PE (OR DN150 PVC) PROPERTY CONNECTION SHALL BE PROVIDED.
- PROPERTY CONNECTIONS SHALL BE LOCATED WITHIN THE PROPERTY AS SHOWN IN THE DRAWINGS.
- PROPERTY CONNECTION BRANCHES SHALL EXTEND INTO THE PROPERTY A MINIMUM OF 300 mm & A MAXIMUM OF 750 mm. UNITYWATER REQUIRES MINIMUM EXTENSION OF 500 mm INTO PROPERTY.
- WHERE PIPES ARE LAID IN FILL, THE FILLING SHALL BE CARRIED OUT IN LAYERS NOT EXCEEDING 300 mm (LOOSE) IN DEPTH & SHALL BE COMPACTED UNTIL THE COMPACTION IS NOT LESS THAN 95% OF THE MATERIALS MAXIMUM COMPACTION WHEN TESTED IN ACCORDANCE WITH A.S. 1289 (MODIFIED COMPACTION). TESTING SHALL BE CARRIED OUT AFTER EACH ALTERNATE LAYER. IN ALL SUCH CASES APPROVAL OF CONSTRUCTED SEWERS WILL NOT BE ISSUED BY THE SEQ SERVICE PROVIDER UNLESS CERTIFICATES ARE PRODUCED CERTIFYING THAT THE REQUIRED COMPACTION HAS BEEN ACHIEVED.
- WHERE SEWERS HAVE A GRADE OF 1 IN 20 OR STEEPER, BULKHEADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SEQ SEWER CODE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION & DEPTH OF EXISTING SERVICES WITH RELEVANT AUTHORITIES BEFORE COMMENCING WORKS.
- SEWERS SHALL BE DISUSED / ABANDONED IN ACCORDANCE WITH PROCEDURES SET OUT IN THE SEQ SEWER CODE.
- BENCH MARK & LEVELS TO AHD.
- THE EXISTING DWELLING ON LOT 3, SERVED BY A SEPTIC SYSTEM, SHALL BE CONNECTED TO THE NEW SEWER BY A LICENSED PLUMBER IN ACCORDANCE WITH THE RELEVANT STATUTORY & COUNCIL REQUIREMENTS. THE SEPTIC SYSTEM, INCLUDING TRENCHES, SHALL BE REMOVED AT THE DEVELOPER'S COST. ALL FIXTURES SHALL BE UPGRADED IF REQUIRED BY PLUMBING CODE. STANDARD NOTE NOT APPLICABLE & THEREFORE DELETED.
- EXISTING ALLOTMENTS REQUIRING A PROPERTY CONNECTION FROM EXISTING SEWERS SHALL BE PROVIDED BY THE SEQ SERVICE PROVIDER AT THE DEVELOPER'S COST.

PROJECT SPECIFIC SEWER NOTES

- ALL SEWER MAINS TO BE AS PER SEWER PIPE SPECIFICATIONS TABLE.
 - NOTWITHSTANDING THE STANDARD SEQ NOTES ABOVE, ALL MATERIALS & WORKS MUST BE IN ACCORDANCE WITH THE SERVICE PROVIDER'S APPROVAL CONDITIONS & THE SEQ WS&S D&C CODE.
 - THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR SEWER RATES UNLESS SCHEDULED OTHERWISE WITHIN THE CONTRACT.
 - THE CONTRACTOR TO PROVIDE CALCAREOUS CONCRETE WHERE SPECIFIED IN THE SEQ CODE BY THE RELEVANT AUTHORITY.
 - WATER & ELECTRICAL CROSSING LOCATIONS ARE INDICATIVE ONLY. REFER TO PLANS TO DETERMINE PRECISE CROSSING LOCATIONS. WHERE SERVICE INDICATES CLASH WITH SEWER, SEWER TO TAKE PRECEDENCE. SERVICE TO BE CONSTRUCTED OVER OR UNDER SEWER ACCORDING TO SUPERINTENDENT'S INSTRUCTION
 - ALL BENDS TO BE LONG RADIUS BEND TO MEET MANUFACTURER'S MINIMUM RADIUS REQUIREMENTS U.N.O.
 - CONTRACTOR TO VERIFY DOWNSTREAM EXISTING PIPE LEVELS PRIOR TO COMMENCEMENT OF WORKS ON-SITE.
- PROPERTY CONNECTIONS HAVE BEEN DESIGNED TO CONTROL THE REQUIRED SERVICE AREA OF EACH LOT AT A GRADE OF 1:60 & A MAXIMUM DEPTH OF PROPERTY CONNECTION AT 1.5m, UNLESS OTHERWISE STATED. CONTRACTOR TO PAY ALL FEES & CHARGES ASSOCIATED WITH CONNECTIONS.

ALL ENVIRONMENT PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.



PROJECT NAME

PRELIMINARY STAGE 1

R.P. DESCRIPTION
 LOT 0 SP308738, LOTS 0-2 SP308739,
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 LOTS 10-16 SP314782
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 LOCALITY OF ORMISTON

CLIENT

THE HUB PRECINCT PTY LTD

0 20 40 60 80 100m
 Scale 1:2000 - A1 (1:4000 - A3)

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DRAWING TITLE

SEWER RETICULATION PLAN SHEET 01

Urban & Regional Planning
 Civil Engineering
 Project Coordination

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STORMWATER

- ALL FIELD GULLIES SHALL CONTAIN A 150mm DIA STUB 600mm BELOW GRADE LEVEL FOR FUTURE ROOFWATER DRAINAGE.
- MANHOLES TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWING No DS-010, DS-015, DS-018, DS-019, DS-020, DS-021 OR STRUCTURAL DRAWINGS (STRUCTURAL DRAWINGS TAKE PRECEDENCE).
- OUTLET HEADWALLS TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARD DRAWINGS.
- ALL HEADWALLS WITH A FALL GREATER THAN 900mm HIGH REQUIRE INSTALLATION OF PEDESTRIAN SAFETY FENCES.
- PIPE JOINT TYPES TO BE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
- ALL ALLOTMENTS TO BE GRADED SUCH THAT FUTURE ROOFWATER DRAINAGE DISCHARGES TO KERB OR TO PIPED DRAINAGE SYSTEM.
- ALL PIPE 300mm DIA & GREATER SHALL BE CONSTRUCTED USING SRC OR FRC PIPES. CONTRACTOR MAY ELECT TO USE PVC PIPES WITHIN ALLOTMENTS FOR PIPES SMALLER THAN 300mm DIA.
- FOR SETOUT DETAILS REFER TO 640 SERIES DRAWINGS (PROFILES & PIT DETAILS).
- GULLY PITS TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWING No DS-060, DS-061, DS-062, DS-063, WHERE PITS ARE CONSTRUCTED AS DRAINWAY PITS, TO BE IN ACCORDANCE WITH IPWEAQ STANDARD DRAWINGS No 05-068.
- LOTS WHICH CAN DRAIN OVERLAND FLOW TO THE STREET SWALE / DRAINAGE WITHOUT FLOWING THROUGH ADJOINING PROPERTIES NEED TO PROVIDE FOR Q100 OVERLAND FLOW TO THE ROAD
- LOT EARTHWORKS DURING BUILDING CONSTRUCTION MUST NOT CHANGE FLOW PATH DIRECTION UNLESS IT IS REPLACED WITH ANOTHER FLOW PATH DRAINING TO THE ROAD SWALE / DRAINAGE.
- THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR STORMWATER RATE.
- PIPE CLASS - PIPE CLASSES/TRENCH BEDDING SHOWN ON THE DRAWINGS ARE SUBJECT TO THE CONTRACTORS PREFERRED INSTALLATION METHOD. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE APPROPRIATE PIPE CLASSES & BEDDING, & CONSIDERING CONSTRUCTION LOADING.
- KERB ADAPTORS ARE TO BE INSTALLED TO AUTHORITIES REQUIREMENTS.
- ALL REBC SLABS ARE TO BE CAST INSITU.

LEGEND

- EXISTING KERB (INVERT)
- EXISTING KERB (LIP & BACK)
- EXISTING PROPERTY LINE
- EXISTING RETAINING WALL
- SW EXISTING STORMWATER
- RW EXISTING ROOFWATER
- SS EXISTING SUBSOIL
- - - EXISTING CONTOURS
- - - FUTURE KERB
- - - FUTURE PROPERTY LINE
- FUTURE RETAINING WALL
- SW FUTURE STORMWATER
- RW FUTURE ROOFWATER
- SS FUTURE SUBSOIL
- SITE BOUNDARY
- STAGE BOUNDARY
- - - CONTROL LINE / CENTER OF ROAD
- PROPOSED KERB (INVERT)
- PROPOSED KERB (LIP & BACK)
- PROPOSED PROPERTY LINE
- PROPOSED RETAINING WALL
- - - DESIGN CONTOURS
- SW PROPOSED STORMWATER
- RW PROPOSED ROOFWATER
- SS PROPOSED SUBSOIL
- MANHOLE
- FIELD INLET
- ▭ KERB INLET (ON GRADE) PIT
- ▭ KERB INLET (SAG) PIT
- ▭ HEADWALL
- ▭ SCOUR PROTECTION

REFERENCE POINT LOCATION FOR DRAINAGE STRUCTURES

STRUCTURE TYPE	HORIZONTAL CONTROL (Reference Point Location)	VERTICAL CONTROL (Reference Level)
MANHOLE / GRATED PIT	CENTRE OF MANHOLE / PIT	FINISHED SURFACE LEVEL
GULLY PIT	LIP AT CENTRE OF PIT	FINISHED SURFACE LEVEL (LIP OF CHANNEL)
HEADWALL	INTERSECTION OF HEADWALL FACE & PIPE CENTRELINE	INVERT LEVEL

REFER TO DWG SERIES 640 FOR ALL DRAINAGE STRUCTURE SETOUT AND/OR CUSTOM DETAILS.



PRELIMINARY STAGE 1

R.P. DESCRIPTION
 LOT 0 SP308738, LOTS 0-2 SP308739,
 LOT 0 SP308740, LOT 4 SP308740,
 LOTS 10-16 SP314782
 58-68 DELANCEY STREET
 LOCALITY OF ORMISTON

CLIENT

**THE HUB
 PRECINCT
 PTY LTD**



Scale 1:500 - A1 (1:1000 - A3)

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CONSTRUCTION	

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**STORMWATER
 DRAINAGE
 PLAN
 SHEET 01**



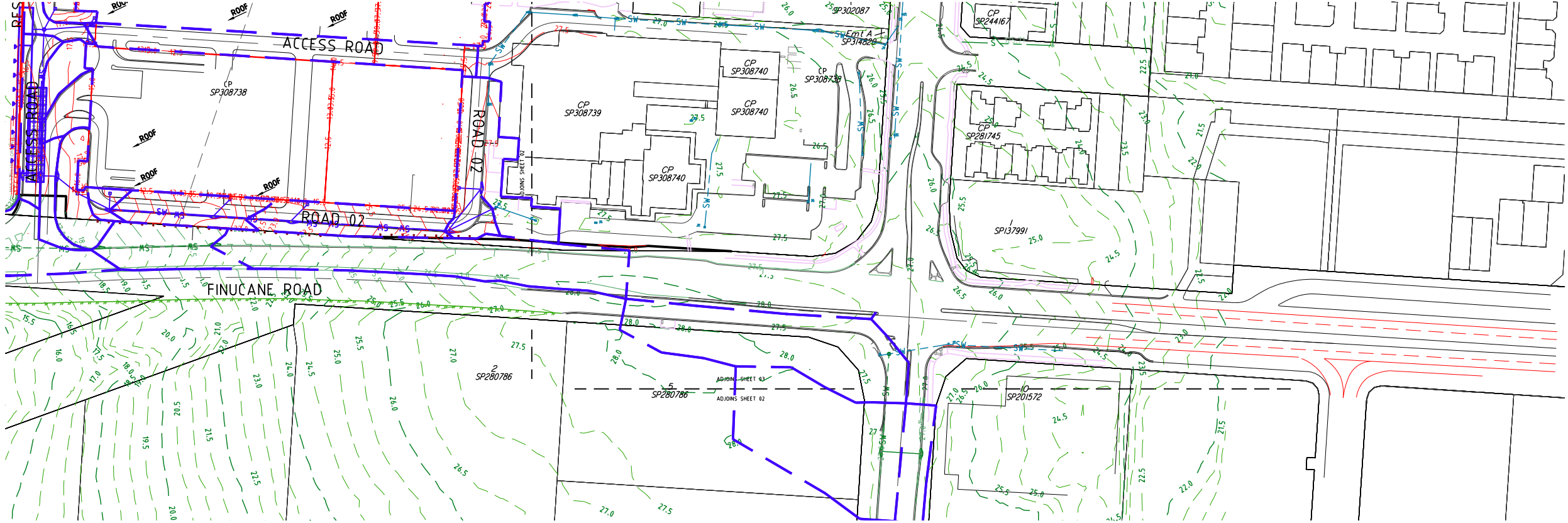
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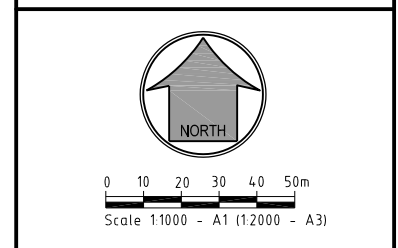
LEGEND

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	EXISTING KERB (LIP & BACK)
	EXISTING PROPERTY LINE
	EXISTING RETAINING WALL
	EXISTING STORMWATER
	EXISTING ROOFWATER
	EXISTING SUBSOIL
	EXISTING CONTOURS
	FUTURE KERB
	FUTURE PROPERTY LINE
	FUTURE RETAINING WALL
	FUTURE STORMWATER
	FUTURE ROOFWATER
	FUTURE SUBSOIL
	PROPOSED CATCHMENT
	CONTROL LINE / CENTER OF ROAD
	PROPOSED KERB (INVERT)
	PROPOSED KERB (LIP & BACK)
	PROPOSED PROPERTY LINE
	PROPOSED RETAINING WALL
	DESIGN CONTOURS
	PROPOSED STORMWATER
	PROPOSED ROOFWATER
	PROPOSED SUBSOIL
	MANHOLE
	FIELD INLET
	KERB INLET (ON GRADE) PIT
	KERB INLET (SAG) PIT
	HEADWALL
	SCOUR PROTECTION

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REFER TO DWG SERIES 640 FOR ALL DRAINAGE STRUCTURE SETOUT AND/OR CUSTOM DETAILS.



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STORMWATER CATCHMENT PLAN SHEET 01

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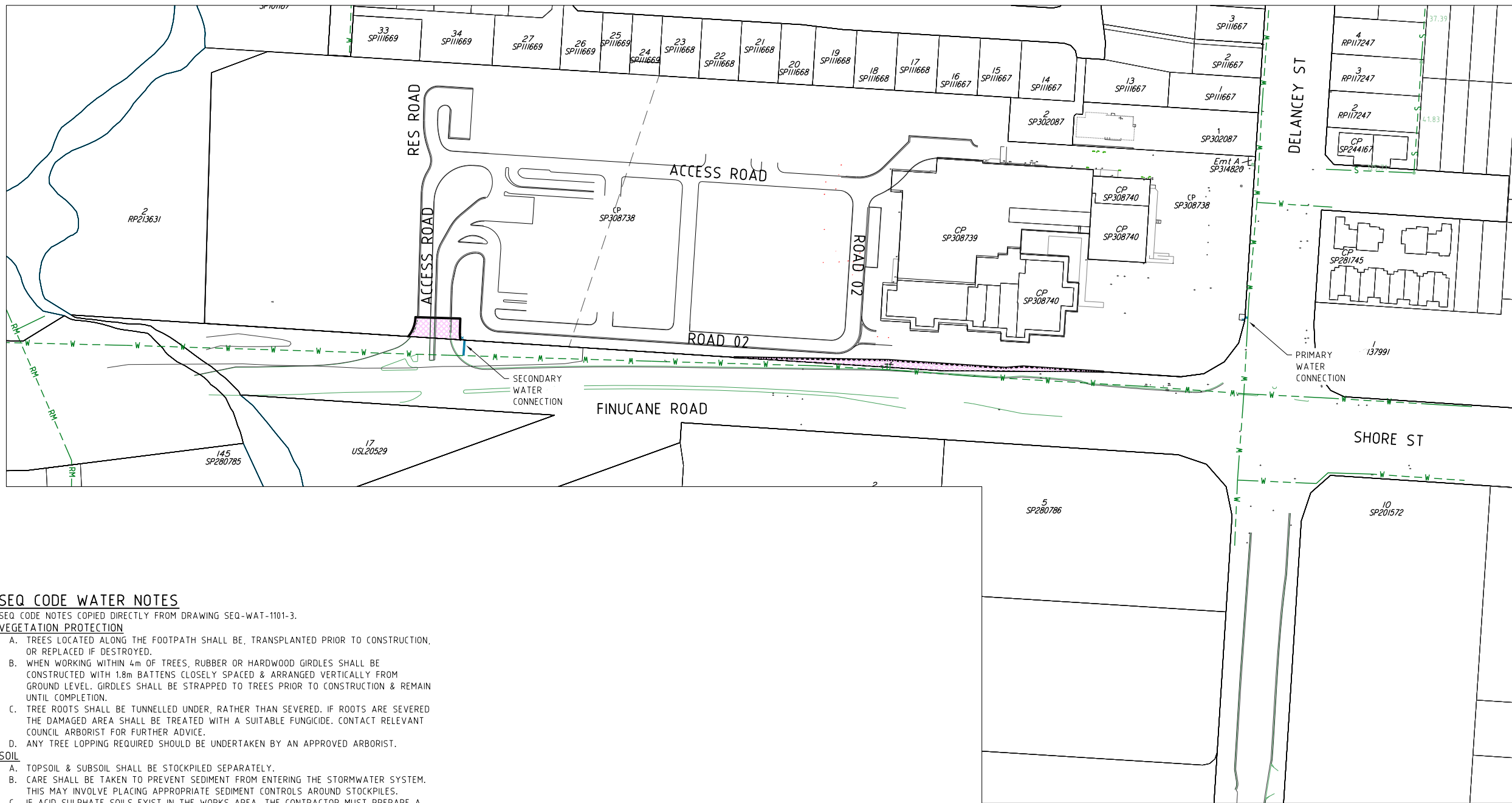
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SEQ CODE WATER NOTES

- SEQ CODE NOTES COPIED DIRECTLY FROM DRAWING SEQ-WAT-1101-3.
- VEGETATION PROTECTION**
- A. TREES LOCATED ALONG THE FOOTPATH SHALL BE, TRANSPLANTED PRIOR TO CONSTRUCTION, OR REPLACED IF DESTROYED.
 - B. WHEN WORKING WITHIN 4m OF TREES, RUBBER OR HARDWOOD GIRDLES SHALL BE CONSTRUCTED WITH 1.8m BATTENS CLOSELY SPACED & ARRANGED VERTICALLY FROM GROUND LEVEL. GIRDLES SHALL BE STRAPPED TO TREES PRIOR TO CONSTRUCTION & REMAIN UNTIL COMPLETION.
 - C. TREE ROOTS SHALL BE TUNNELLED UNDER, RATHER THAN SEVERED. IF ROOTS ARE SEVERED THE DAMAGED AREA SHALL BE TREATED WITH A SUITABLE FUNGICIDE. CONTACT RELEVANT COUNCIL ARBORIST FOR FURTHER ADVICE.
 - D. ANY TREE LOPPING REQUIRED SHOULD BE UNDERTAKEN BY AN APPROVED ARBORIST.
- SOIL**
- A. TOPSOIL & SUBSOIL SHALL BE STOCKPILED SEPARATELY.
 - B. CARE SHALL BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE STORMWATER SYSTEM. THIS MAY INVOLVE PLACING APPROPRIATE SEDIMENT CONTROLS AROUND STOCKPILES.
 - C. IF ACID SULPHATE SOILS EXIST IN THE WORKS AREA, THE CONTRACTOR MUST PREPARE A RISK ASSESSMENT BASED ON THE QUEENSLAND ACID SULPHATE SOIL TECHNICAL MANUAL & MANAGE THE ACID SULPHATE SOILS AS PER THE MANUAL.
- CREEK CROSSINGS**
- A. SILTATION CONTROL MEASURES SHALL BE PLACED DOWNSTREAM OF ANY EXCAVATION WORK.
 - B. APPROPRIATE SEDIMENT CONTROLS SHALL BE USED TO PREVENT SEDIMENT FROM ENTERING THE CREEK.
 - C. NO SOIL SHALL BE STOCKPILED WITHIN 5m OF THE CREEK.
- REHABILITATION**
- A. PREDISTURBANCE SOIL PROFILES & COMPACTION LEVELS SHALL BE REINSTATED.
 - B. PREDISTURBANCE VEGETATION PATTERNS SHALL BE RESTORED.
- GENERAL NOTES**
- 1. ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SOUTH EAST QUEENSLAND WATER SUPPLY CODE SPECIFICATIONS & STANDARDS.
 - 2. UNLESS SPECIFIED OTHERWISE ALL MATERIALS & WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
 - 3. ADOPT LIP OF KERB OR SHOULDER OF ROAD AS PERMANENT LEVEL.
 - 4. COVER ON MAINS FROM PERMANENT LEVEL TO BE AS SHOWN IN SEQ-WAT-1200-2.
 - 5. CONDUITS TO BE INSTALLED IN ACCORDANCE WITH THE STANDARD DRAWINGS.
 - 6. A WATER METER SUPPLIED AT THE DEVELOPER'S COST, IS TO BE INSTALLED AT THE SERVICE POINT OF EACH LOT IN ACCORDANCE WITH THE STANDARD DRAWING FOR THE SEQ-SP.
 - 7. ALL MATERIALS USED IN THE WORKS SHALL COMPLY WITH THE SEQ-SP'S ACCEPTED PRODUCTS & MATERIALS LIST OR BE APPROPRIATELY SHOWN, LISTED & DEFINED IN THE ENGINEERING SUBMISSION SO THAT THE ALTERNATIVE PRODUCT OR MATERIAL CAN BE ASSESSED & IF APPROPRIATE, APPROVED BY THE SEQ-SP.
 - 8. ALL CONCRETE FOOTPATHS TO BE CLEAR OF WATER MAINS.
 - 9. TEST/CHLORINATION POINTS TO BE INSTALLED IN ACCORDANCE WITH STANDARD DRAWING NO. SEQ-WAT-1410-1.
 - 10. THE CONSTRUCTION OF THE WATER RETICULATION WORK SHOWN ON THIS DRAWING MUST BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT TO THE RETICULATION SYSTEM.

LEGEND

W100	EXISTING 100Ø WATER MAIN	---	SITE BOUNDARY
W150	EXISTING 150Ø WATER MAIN	---	STAGE BOUNDARY
W200	EXISTING 200Ø WATER MAIN	---	PROPOSED 100Ø WATER MAIN
W225	EXISTING 225Ø WATER MAIN	---	PROPOSED 150Ø WATER MAIN
W250	EXISTING 250Ø WATER MAIN	---	PROPOSED 200Ø WATER MAIN
W300	EXISTING 300Ø WATER MAIN	---	PROPOSED 225Ø WATER MAIN
---	EXISTING FOOTPATH	---	PROPOSED 250Ø WATER MAIN
---	EXISTING KERB (INVERT)	---	PROPOSED 300Ø WATER MAIN
---	EXISTING PROPERTY LINE	●	HYDRANT
W100	FUTURE 100Ø WATER MAIN	+	TEE
W150	FUTURE 150Ø WATER MAIN	>	REDUCER
W200	FUTURE 200Ø WATER MAIN	▢	SLUICE VALVE
W225	FUTURE 225Ø WATER MAIN	[ENDCAP
W250	FUTURE 250Ø WATER MAIN	✕	SCOUR VALVE
W300	FUTURE 300Ø WATER MAIN	○	AIR VALVE
---	FUTURE KERB (INVERT)	×	METER LOCATION
---	FUTURE PROPERTY LINE	■	TRENCH STOP
---	FUTURE FOOTPATH	---	SERVICE CONDUIT
---	PROPOSED KERB (INVERT)	---	DICL ROAD CROSSING
---	PROPOSED PROPERTY LINE	---	
---	PROPOSED FOOTPATH	---	

ALL ENVIRONMENT PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CONSTRUCTION WORK, INCLUDING CLEARING, COMMENCING.

PROJECT NAME

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WATER RETICULATION PLAN SHEET 01

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